

Application for development approval



Owner details		
Name: Great Eastern Freightlines		
ABN (if applicable): 67 483 632 340		
Address: 13 Insignia Way Merredin WA		
		Postcode: 6415
Phone: Work: 90415922	Fax:	Email: josh@greasternfreightlines.com.au
Home:		
Mobile:		
Contact person for correspondence : Josh Herbert		
Signature:		Date: 25/05/2022
Signature:		Date:
<p><i>The signature of the owner(s) is required on all applications. This application will not proceed without that signature. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clause 62 (2).</i></p>		
Applicant details (if different from owner)		
Name:		
Address:		
		Postcode:
Phone: Work:	Fax:	Email:
Home:		
Mobile:		
Contact person for correspondence :		
<p>The information and plans provided with this application may be made available by the local government for public viewing in connection with the application. <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		

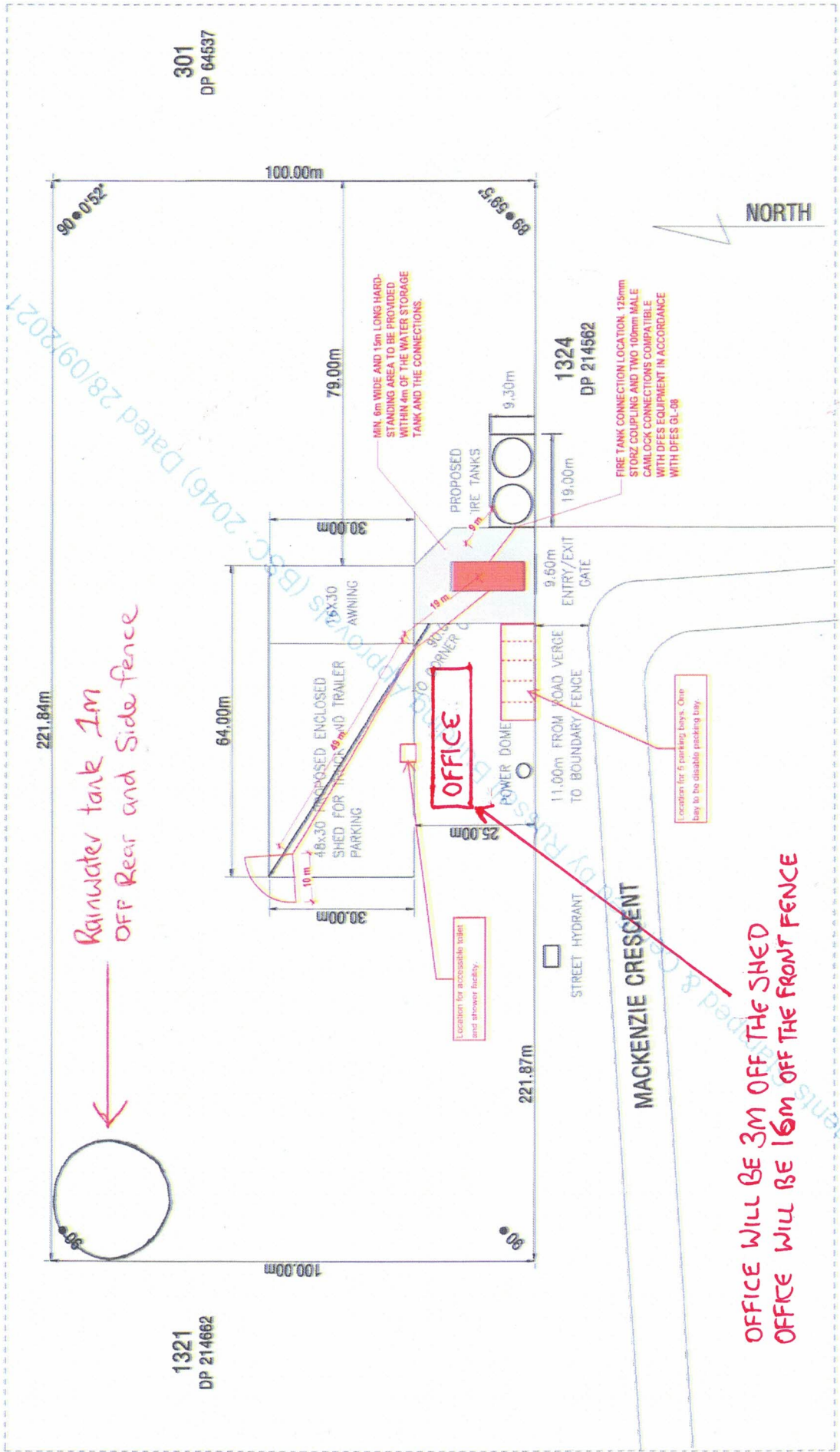
Signature:	Date:
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Property details		
Lot No: 900	House/Street No:	Location No:
Diagram or Plan No:	Certificate of Title Vol. No:	Folio:
Title encumbrances (e.g. easements, restrictive covenants):		
Street Name: Mackenzie Crescent	Suburb: Merredin WA 6415	
Nearest street intersection: Mitchell Street/Mackenzie Crescent		

Proposed development	
Nature of Development New modular office building	<input type="checkbox"/> Works <input type="checkbox"/> Use <input type="checkbox"/> Works and use
Is an exemption from development claimed for part of the development? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, is the exemption for	<input type="checkbox"/> Works <input type="checkbox"/> Use
Description of proposed works and/or land use: Office building for transport business	
Description of exemption claimed (if relevant):	
Nature of any existing buildings and/or land use:	
Approximate cost of proposed development: \$100,000	
Estimated time of completion: August 2022	

OFFICE USE ONLY

Acceptance Officer's initials:	Date Received:
Local government reference No:	

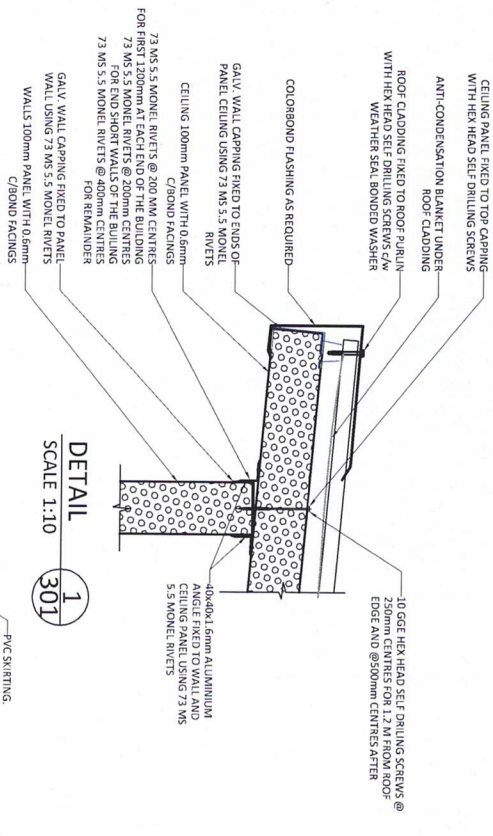


*Rainwater tank 1m
 OFF Rear and Side fence*

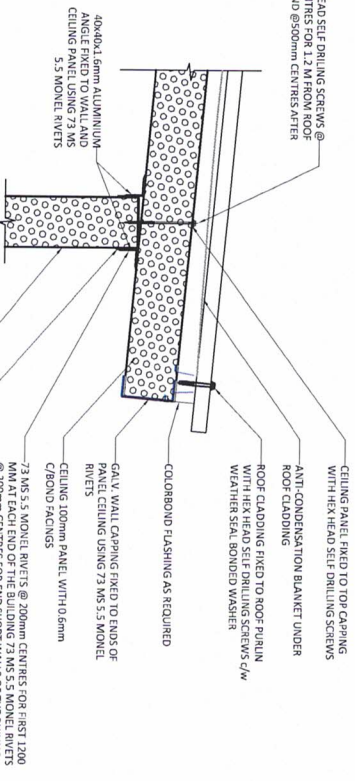
*OFFICE WILL BE 3M OFF THE SHED
 OFFICE WILL BE 10M OFF THE FRONT FENCE*

STRUCTURAL CERTIFICATION	DRAWING NAME
THE STRUCTURAL DESIGN OFFICER IS A REGISTERED PROFESSIONAL ENGINEER AND A MEMBER OF THE INSTITUTE OF ENGINEERS AUSTRALIA.	64537RT SHED
AS/NZS 1170:2002 (GENERAL PRINCIPLES AND METHODS)	DRAWING NO. (60-5-4)
AS 1532:2018 (STEEL STRUCTURES)	REVISION
AS 1532:2018 (WIND ACTIONS)	REV. 1
AS 1532:2018 (SEISMIC ACTIONS)	REV. 2
AS 1532:2018 (THERMAL ACTIONS)	REV. 3
AS 1532:2018 (SOUND & VIBRATION)	REV. 4
AS 1532:2018 (FIRE ACTIONS)	REV. 5
AS 1532:2018 (ICE ACTIONS)	REV. 6
AS 1532:2018 (CRACKING)	REV. 7
AS 1532:2018 (CORROSION)	REV. 8
AS 1532:2018 (CONCRETE STRUCTURES CODE)	REV. 9
AS 1532:2018 (STEEL STRUCTURES CODE)	REV. 10
AS 1532:2018 (STEEL CONNECTIONS)	REV. 11
AS 1532:2018 (STEEL DESIGN)	REV. 12
AS 1532:2018 (STEEL FABRICATION)	REV. 13
AS 1532:2018 (STEEL ERECTION)	REV. 14
AS 1532:2018 (STEEL MAINTENANCE)	REV. 15
AS 1532:2018 (STEEL REPAIRS)	REV. 16
AS 1532:2018 (STEEL REPLACEMENT)	REV. 17
AS 1532:2018 (STEEL DEMOLITION)	REV. 18
AS 1532:2018 (STEEL CONSTRUCTION)	REV. 19
AS 1532:2018 (STEEL INSULATION)	REV. 20
AS 1532:2018 (STEEL PAINTING)	REV. 21
AS 1532:2018 (STEEL CLEANING)	REV. 22
AS 1532:2018 (STEEL STORAGE)	REV. 23
AS 1532:2018 (STEEL TRANSPORT)	REV. 24
AS 1532:2018 (STEEL INSTALLATION)	REV. 25
AS 1532:2018 (STEEL COMMISSIONING)	REV. 26
AS 1532:2018 (STEEL DECOMMISSIONING)	REV. 27
AS 1532:2018 (STEEL RECYCLING)	REV. 28
AS 1532:2018 (STEEL WASTE MANAGEMENT)	REV. 29
AS 1532:2018 (STEEL SAFETY)	REV. 30
AS 1532:2018 (STEEL QUALITY CONTROL)	REV. 31
AS 1532:2018 (STEEL DOCUMENTATION)	REV. 32
AS 1532:2018 (STEEL RECORDS)	REV. 33
AS 1532:2018 (STEEL ARCHIVES)	REV. 34
AS 1532:2018 (STEEL PRESERVATION)	REV. 35
AS 1532:2018 (STEEL RESTORATION)	REV. 36
AS 1532:2018 (STEEL REPAIRS)	REV. 37
AS 1532:2018 (STEEL REPLACEMENT)	REV. 38
AS 1532:2018 (STEEL DEMOLITION)	REV. 39
AS 1532:2018 (STEEL RECYCLING)	REV. 40
AS 1532:2018 (STEEL WASTE MANAGEMENT)	REV. 41
AS 1532:2018 (STEEL SAFETY)	REV. 42
AS 1532:2018 (STEEL QUALITY CONTROL)	REV. 43
AS 1532:2018 (STEEL DOCUMENTATION)	REV. 44
AS 1532:2018 (STEEL RECORDS)	REV. 45
AS 1532:2018 (STEEL ARCHIVES)	REV. 46
AS 1532:2018 (STEEL PRESERVATION)	REV. 47
AS 1532:2018 (STEEL RESTORATION)	REV. 48
AS 1532:2018 (STEEL REPAIRS)	REV. 49
AS 1532:2018 (STEEL REPLACEMENT)	REV. 50
AS 1532:2018 (STEEL DEMOLITION)	REV. 51
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AS 1532:2018 (STEEL DEMOLITION)	REV. 75
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AS 1532:2018 (STEEL QUALITY CONTROL)	REV. 79
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AS 1532:2018 (STEEL RECORDS)	REV. 81
AS 1532:2018 (STEEL ARCHIVES)	REV. 82
AS 1532:2018 (STEEL PRESERVATION)	REV. 83
AS 1532:2018 (STEEL RESTORATION)	REV. 84
AS 1532:2018 (STEEL REPAIRS)	REV. 85
AS 1532:2018 (STEEL REPLACEMENT)	REV. 86
AS 1532:2018 (STEEL DEMOLITION)	REV. 87
AS 1532:2018 (STEEL RECYCLING)	REV. 88
AS 1532:2018 (STEEL WASTE MANAGEMENT)	REV. 89
AS 1532:2018 (STEEL SAFETY)	REV. 90
AS 1532:2018 (STEEL QUALITY CONTROL)	REV. 91
AS 1532:2018 (STEEL DOCUMENTATION)	REV. 92
AS 1532:2018 (STEEL RECORDS)	REV. 93
AS 1532:2018 (STEEL ARCHIVES)	REV. 94
AS 1532:2018 (STEEL PRESERVATION)	REV. 95
AS 1532:2018 (STEEL RESTORATION)	REV. 96
AS 1532:2018 (STEEL REPAIRS)	REV. 97
AS 1532:2018 (STEEL REPLACEMENT)	REV. 98
AS 1532:2018 (STEEL DEMOLITION)	REV. 99
AS 1532:2018 (STEEL RECYCLING)	REV. 100

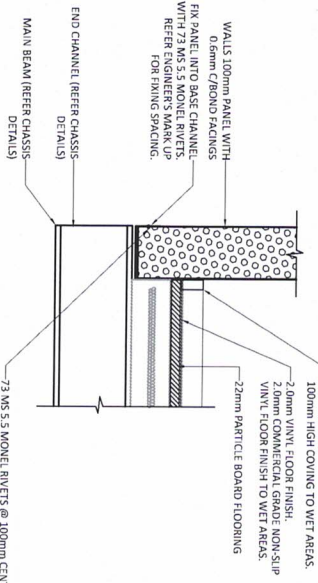
SITE PLAN



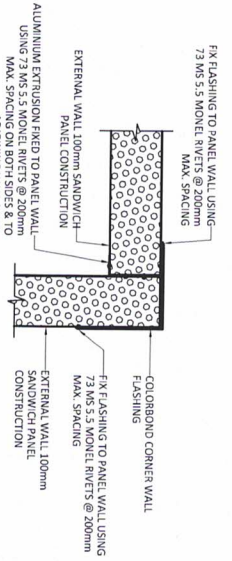
DETAIL 1
SCALE 1:10
301



DETAIL 3
SCALE 1:10
301



DETAIL 2
SCALE 1:10
301



CORNER WALL DETAIL
SCALE 1:10



GENERAL NOTES

1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
2. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
3. COORDINATION WITH OTHER DRAWINGS, SPECIFICATIONS & CONTRACT DOCUMENTATION.
4. DESIGNER & MAINT WRITTEN INSTRUCTIONS.

THIS DOCUMENT AND ANY OF THE DOCUMENTS REFERRED TO HEREIN ARE THE PROPERTY OF PANGALLO DESIGN SERVICES AND MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF PANGALLO DESIGN SERVICES.

1 9050 151 977
1 PANGALLO@GMAIL.COM

SHEET DETAILS

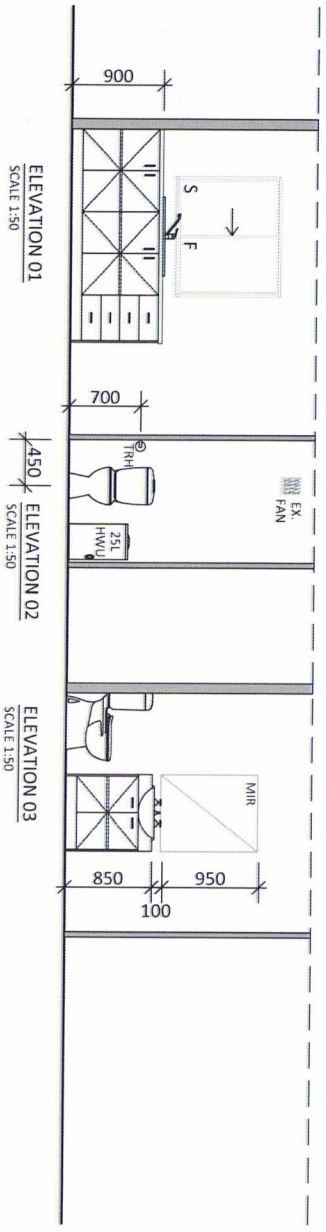
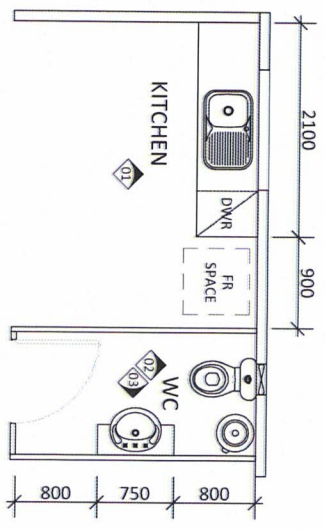
PROJECT 15, DK4.0 OFFICE / KITCHEN
DRAWING NO. A.03



PROJECT NO.	DSN00178	BUILDING ASSET NO.	341-1
DRAWN	AP	DATE	02/05/22
SCALE	AS SHOWN	REVISION	A
PROJECT CLIENT	GREAT EASTERN FREIGHTLINE		
PROJECT ADDRESS	MERRIEDIN, WA		

CLIENT SIGNATURE: DH
DATE: 4/5/22

NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED AS REVIEW	2/8/2022	AP	



GENERAL NOTES
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
 2. USE WESTERN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
 3. DRAWING CONSTRUCTION WITH OTHER DRAWINGS TO BE COORDINATED.
 4. SPECIFICATIONS & CONDITIONS OF CONTRACT TO BE REFERRED TO FOR ALL MATERIALS.
 5. DESIGNER'S MARKS WESTERN INSTRUCTION
 6. APPROVED FOR CONSTRUCTION

SHEET
ROOM LAYOUTS
 PROJECT
 15.0X4.0 OFFICE / KITCHEN
 DRAWING NO.
A.06



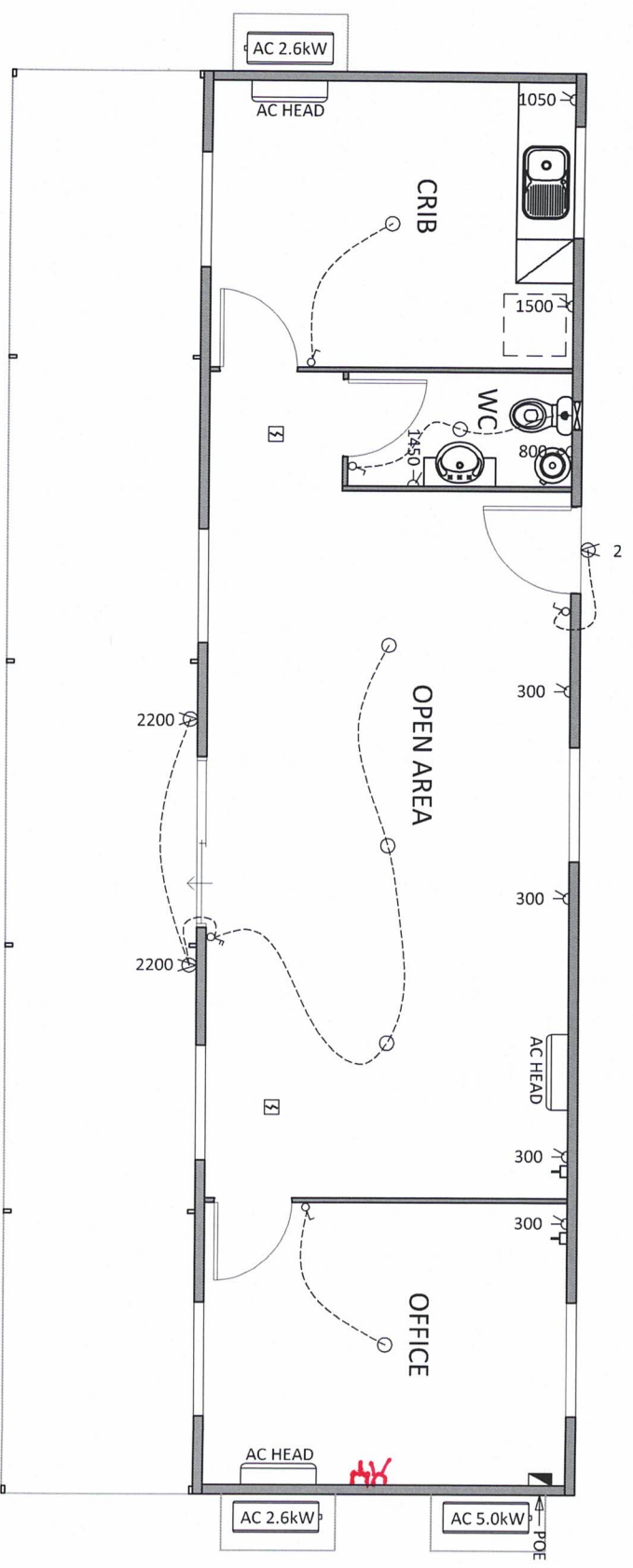
AS SHOWN
 SCALE
 AP
 SIZE
 A3
 DATE
 02/05/22
 REVISION
 A

PROJECT NO. DSN00178 BUILDING ASSET NO. 341-1
 PROJECT CLIENT GREAT EASTERN FREIGHTLINE
 PROJECT ADDRESS MERREDIN, WA

CLIENT SIGNATURE: CH
 DATE: 4/5/22

NO.	DESCRIPTION	DATE	BY	CHK'D.

⏏	CIRCUIT BOARD - CONNECTION POINT
⏏	SINGLE LIGHT SWITCH
⏏	DOUBLE LIGHT SWITCH
⊙	LIGHT FITTING
⊙	EXTERNAL LIGHT - W/PROOF
⊙	GPO - 10 AMP DOUBLE, 300 AH, LON
⊙	DOUBLE DATA POINT
⊙	SMOKE DETECTOR - HARD WIRED
⊙	EXHAUST FAN - WALL MOUNTED
⊙	ISOLATOR SWITCH W/PROOF



GENERAL NOTES

1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
2. USE WRITING DIMENSIONS ONLY. DO NOT SCALE DRAWING.
3. SPECIFICATIONS & CONSULTANTS DOCUMENTATION TO BE USED IN CONFORMANCE WITH OTHER DRAWINGS.
4. DESIGNER SHALL VERIFY ALL DIMENSIONS TO THE DRAWING.

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E AP@PANGALLO.COM

SHEET
ELECTRICAL PLAN
PROJECT
15.0x4.0 OFFICE / KITCHEN
DRAWING NO.
E.01



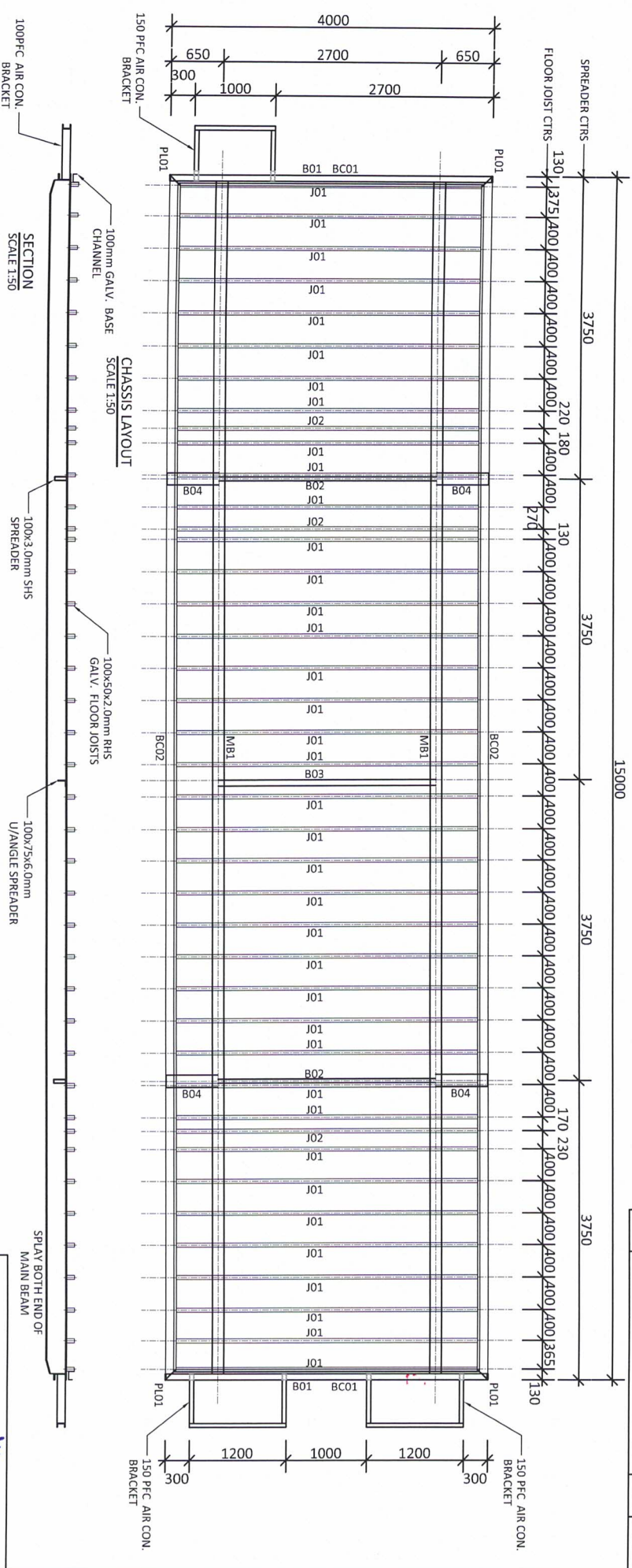
DRAWN
AP
DATE
02/05/22
SCALE
1:50
SIZE
A3
REVISION
A

PROJECT NO.
DSN00178
BUILDING ASSET NO.
341-1
PROJECT CLIENT
GREAT EASTERN FREIGHTLINE
PROJECT ADDRESS
MERREDIN, WA

CLIENT SIGNATURE: DH
DATE: 4/5/22

NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED FOR REVIEW	2/9/2022	AP	

MARK	DESCRIPTION	QTY.	LENGTH.
MB1	250 UB 25.7 - MAIN BEAM	2	14850
B01	150x75 PFC - END CHANNEL	2	3990
B02	100x50x3.0mm RHS GALV. - SPREADER	2	2694
B03	100x75x6.0mm U/ANGLE - SPREADER	1	2694
B04	150 UC 23.4 - OUTRIGGER	4	642
BC01	1.6 GALV. - 75mm BASE CHANNEL	2	3990
BC02	1.6 GALV. - 75mm BASE CHANNEL	2	14890
JO1	100x50x2.0mm RHS - FLOOR JOIST	38	3795
JO2	100x50x2.0mm RHS - FLOOR JOIST (UNDER WALL PANEL)	3	3795
PL01	75x5 F.L. - END PLATE	4	150



GENERAL NOTES:
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
 2. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. DRAWINGS CONSTRUCTION WITH OTHER DRAWINGS, SPECIFICATIONS & CONSULTANTS DOCUMENTATION TO BE REFERRED TO FOR DISCREPANCIES.
 4. REVISIONS SHALL BE INSTANTLY DOCUMENTED TO THE DRAWING.
 THIS DOCUMENT AND ANY OF THE DOCUMENTS REFERRED TO HEREIN ARE THE PROPERTY OF PANGALLO DESIGN SERVICES AND ARE NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF PANGALLO DESIGN SERVICES.
 PANGALLO DESIGN SERVICES
 15 OAK, O OFFICE / KITCHEN
 DRAWING NO. A.04
 A.04

SHEET
 CHASSIS LAYOUT

PROJECT
 15 OAK, O OFFICE / KITCHEN
 DRAWING NO.
 A.04

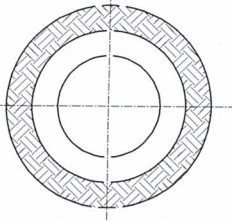


DRAWN
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 DATE
 02/05/22
 REVISION
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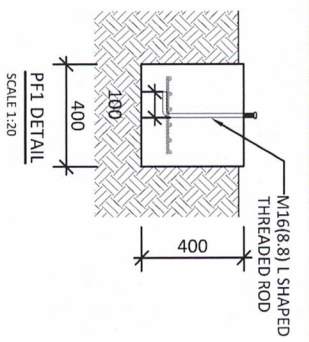
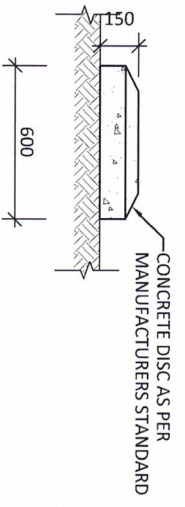
PROJECT NO.
 DSN00178
 BUILDING ASSET NO.
 341-1

NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED AS PER PLAN	23/01/2022	AP	

CLIENT SIGNATURE: DM
 DATE: 4/5/22



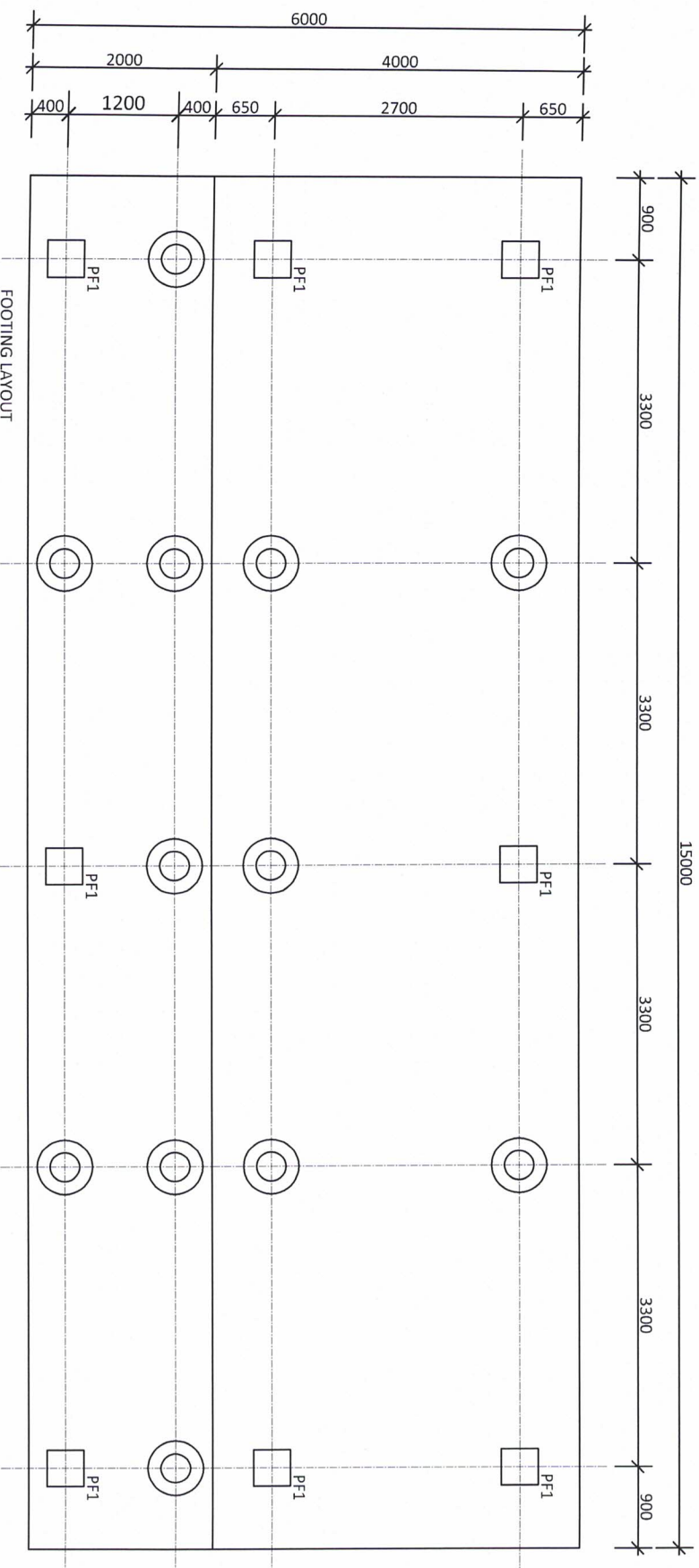
FOOTING DETAIL
SCALE 1:20



PF1 DETAIL
SCALE 1:20

NOTE:

- DENOTES FOOTING LOCATION.
- PRE-CAST CONCRETE DISC FOOTING.
- DENOTES FOOTING LOCATION.
- 400x400x400 CONCRETE PAD FOOTING.



FOOTING LAYOUT
SCALE 1:50



GENERAL NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
2. EXISTING UTILITIES TO BE IDENTIFIED AND MARKED PRIOR TO COMMENCEMENT OF WORKS. DO NOT SCALE.
3. DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
4. SPECIFICATIONS & CONSTRUCTION DOCUMENTS TO BE REFERRED TO FOR ALL DIMENSIONS.
5. REFER TO DRAWING FOR DIMENSIONS.
6. REFER TO DRAWING FOR DIMENSIONS.
7. REFER TO DRAWING FOR DIMENSIONS.
8. REFER TO DRAWING FOR DIMENSIONS.
9. REFER TO DRAWING FOR DIMENSIONS.
10. REFER TO DRAWING FOR DIMENSIONS.

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7/1000 MANNING ROAD, MANNINGHAM VIC 3088
TEL: 03 9455 9222 FAX: 03 9455 9222
WWW.PANGALLODESIGN.COM
E: ADMIN@PANGALLODESIGN.COM

FOOTING LAYOUT

SHEET PROJECT
15.0x4.0 OFFICE / KITCHEN
DRAWING NO. A.07



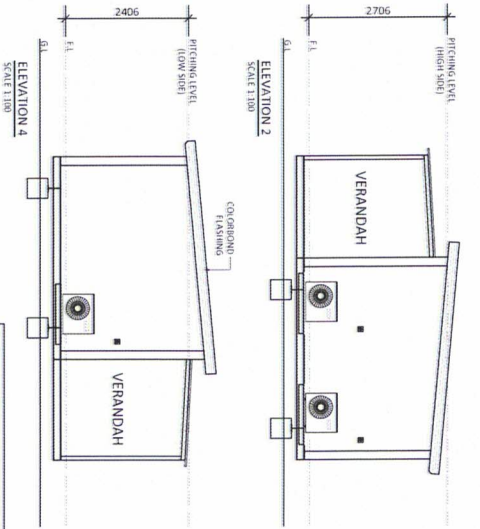
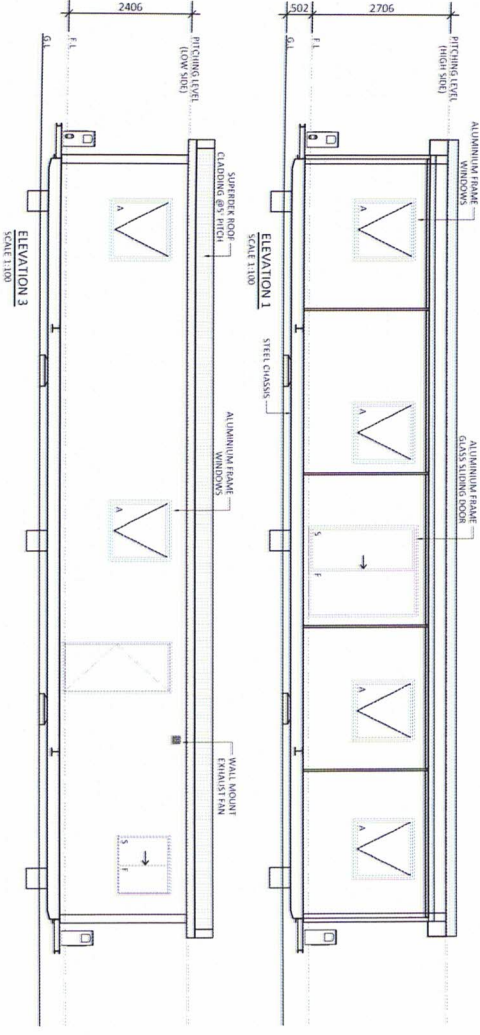
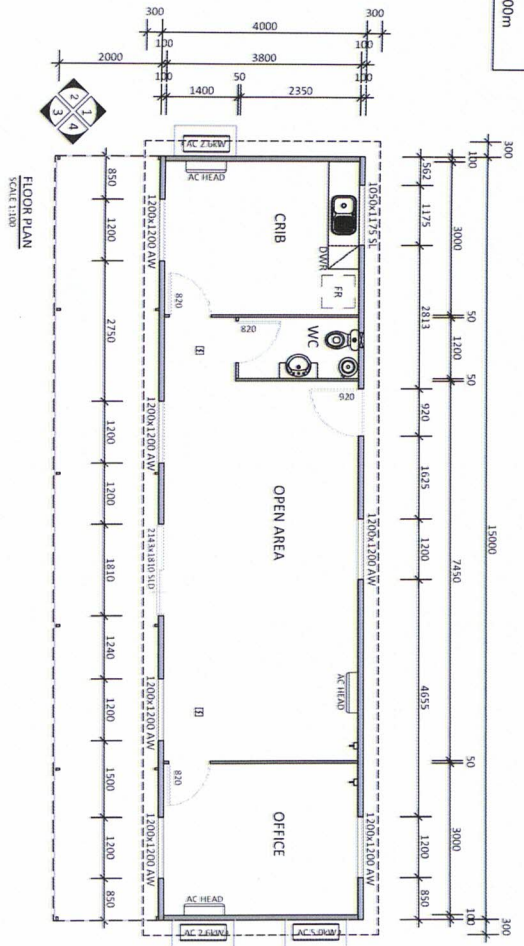
AS SHOWN SCALE SIZE REVISION
A3 A

PROJECT NO. DSND00178 BUILDING ASSET No. 341-1
PROJECT CLIENT GREAT EASTERN FREIGHTLINE
PROJECT ADDRESS MERREDIN, WA

NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED AS SHOWN	20/05/22	JP	

CLIENT SIGNATURE: [Signature]
DATE: 4/5/22

AREA m²
BUILDING - 60.00m²
VERANDAH - 30.00m²
CEILING HEIGHT - 2.400m



BAL-19 NOTES:

- FLOOR BASE FRAME TO BE MADE UP OF NON-COMBUSTIBLE MATERIALS.
- EXTERNAL WALLS, NON-COMBUSTIBLE MATERIAL. ALL GAPS TO BE SEALED TO PREVENT GAPS OF 3mm OR GREATER.
- DOOR GLAZING TO BE TOUGHENED GLASS.
- WINDOW GLAZING TO BE TOUGHENED GLASS AND FITTED WITH ALUMINIUM MESH EXTERNALLY.
- AL JUNCTION TO BE SEALED TO PREVENT OPENINGS GREATER THAN 3mm GAPS GREATER THAN 3mm TO SEALED WITH ALUMINIUM MESH.

BUILDING DESIGN CRITERIA Windload - in accordance with AS1170.1:2011 REGION A, TERRAC CATEGORY 2, IMPORTANCE LEVEL 2
 Minimum wind speed = 45m/s
 Mean = 0.01
 CH = 0.3, 0.0
 V serviceability = 37m/s

DESIGN CRITERIA IN ACCORDANCE WITH AS1170.1:2002:
 Import prior action (Type 1)
 Also refer to table 1.1 SHK concentrated load.

BUILDING SPECIFICATION - TO CURRENT NCC

- CHASSIS - TRANSPORTABLE STEEL CHASSIS (W/ GALV. FLOOR JOISTS AT MAX 400mm CTR)
- FLOORING - 22mm T&G AQUADANTE TERNITE TREATED PARTICLE BOARD
- ROOF - 2.0mm H/VK. FLOOR FINISH (W/ PVC (V) MOLDED SKIRTING BOARD)
- 2.0mm COMMERICAL GRADE NON-SLIP PVC FLOOR FINISH
- EXTERNAL WALLS - 100mm EPS CORE PANEL (W/ 0.6mm COLORBOND MEMB. WITH COLORBOND CLADDING OVER INTERNAL WALLS - 50mm PANEL (W/ 0.4mm COLORBOND Facings - refer colour schedule)
- CEILING LINING - 125mm EPS CORE PANEL (W/ 0.6mm COLORBOND facing- FLAT/FLAT TO RAIN 14.4m)
- ANTI-CONDENSATION BLANKET under roof sheets
- R2.0 UNDER FLOOR INSULATION
- ROOF / WALL FLASHING - COLORBOND
- DOOR FRAMES - ALUMINIUM (W/ TIMBER DOOR LEAF.
- WINDOW FRAMES - ALUMINIUM POWDER COAT FINISH - NIGHT SKY



GENERAL NOTE:
 1. ALL DIMENSIONS TO BE STATED ON SITE PRIOR TO COMMENCEMENT OF WORK.
 2. UNLESS OTHERWISE STATED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED.
 3. SPECIFICATIONS & CONSTRUCTION METHODS TO BE REFERRED TO THE RELEVANT STANDARDS.
 4. REFER ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
 5. MODIFIED BY: [Signature]
 6. DATE: [Date]

SHEET
GENERAL
ARRANGEMENT
PROJECT
15.0x4.0 OFFICE / CRIB
DRAWING NO.
A.01

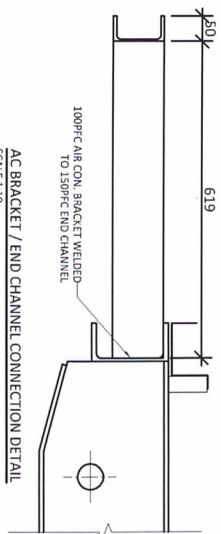
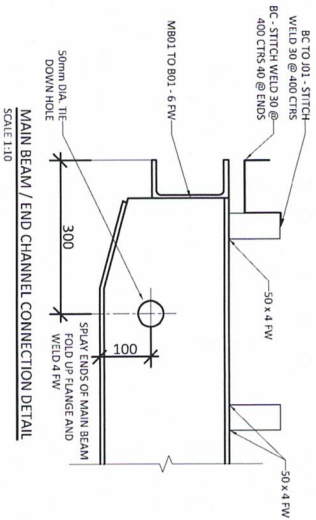
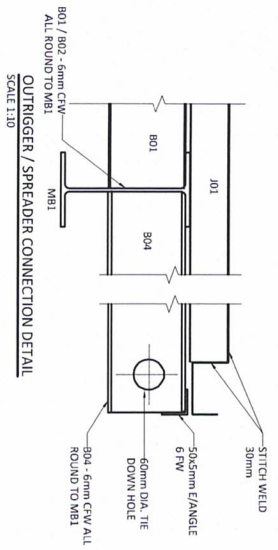


DRAWN
AP
DATE
02/05/22
REVISION
A

PROJECT NO.
DSN00178
BUILDING ASSET NO.
341-1
PROJECT CLIENT
GREAT EASTERN FREIGHTLINE
PROJECT ADDRESS
MERREDIN, WA

CLIENT SIGNATURE: [Signature] **DATE:** 4/5/22

NO.	DESCRIPTION	DATE	BY	CHK'D



GENERAL NOTES
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
 2. DIMENSIONS OF WORK TO BE SHOWN ON DRAWINGS, UNLESS OTHERWISE SPECIFIED, SHALL BE AS SHOWN ON DRAWINGS.
 3. DRAWINGS, SPECIFICATIONS, NOTATIONS, DIMENSIONS, SPECIFICATIONS & CONSULTANTS' COMMENTS TO THE DRAWINGS SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF WORK.
 4. REFER ANY DISCREPANCIES IMMEDIATELY TO THE CONSULTANT.
 5. DRAWINGS SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF WORK.
 6. DIMENSIONS SHALL BE AS SHOWN ON DRAWINGS.
 7. DIMENSIONS SHALL BE AS SHOWN ON DRAWINGS.
 8. DIMENSIONS SHALL BE AS SHOWN ON DRAWINGS.
 9. DIMENSIONS SHALL BE AS SHOWN ON DRAWINGS.
 10. DIMENSIONS SHALL BE AS SHOWN ON DRAWINGS.

CHASSIS DETAILS
 SHEET
 PROJECT
 15, OK4, 0 OFFICE / KITCHEN
 DRAWING NO.
A.05

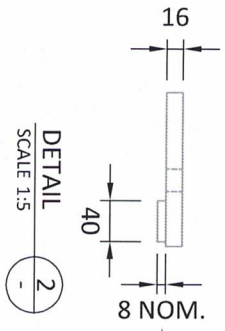
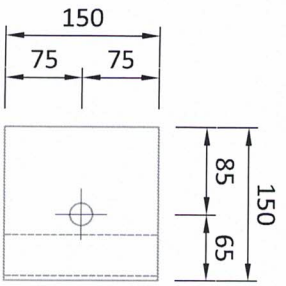


AS SHOWN
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 SIZE
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 AP
 DATE
 02/05/22
 REVISION
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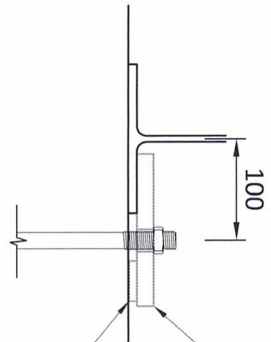
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 DSN000178
BUILDING ASSET NO.
 341-1
PROJECT CLIENT
 GREAT EASTERN FREIGHTLINE
PROJECT ADDRESS
 MERREDIN, WA

CLIENT SIGNATURE: DH
 DATE: 4/5/22

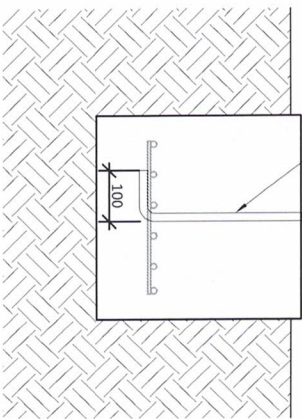
NO.	DESCRIPTION	DATE	BY	CHKD
1	ISSUED FOR PERMITS	2022/05/02	AP	



SITE CONFIRM
FLANGE THICKNESS
OF SKID BEAM



M16(8,8) L SHAPED
THREADED ROD



TIE DOWN DETAIL
SCALE 1:10



GENERAL NOTES:
1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
2. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE DRAWINGS.
3. CONSULT WITH OTHER DRAWINGS, SPECIFICATIONS & CONSULTANTS DOCUMENTATION TO THE DISCREPANCY & AMENDMENTS TO THE DRAWING.
4. DISCREPANCY & AMENDMENTS TO THE DRAWING TO BE APPROVED BY THE ARCHITECT.

THIS DOCUMENT AND ANY OF THE DOCUMENTS REFERENCED HEREIN ARE THE PROPERTY OF PANGALLO DESIGN SERVICES AND ARE NOT TO BE USED, COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF PANGALLO DESIGN SERVICES. CONTACTS WITH PANGALLO DESIGN SERVICES: PHONE: 08 9419 6139 FAX: 08 9419 6137 EMAIL: PANGALLODESIGN.COM

SHEET
PROJECT
DRAWING NO.

TIE DOWN DETAIL

15.0x4.0 OFFICE / KITCHEN

A.08



AS SHOWN
SCALE
DRAWN
DATE
REVISION

A3
AP
02/05/22
A

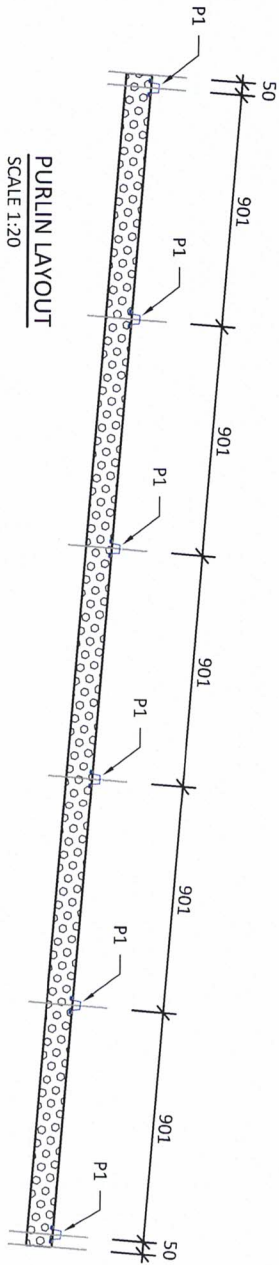
PROJECT NO.
BUILDING ASSET NO.
PROJECT CLIENT
PROJECT ADDRESS

DSN00178
341-1
GREAT EASTERN FREIGHTLINE
MERRIEDIN, WA

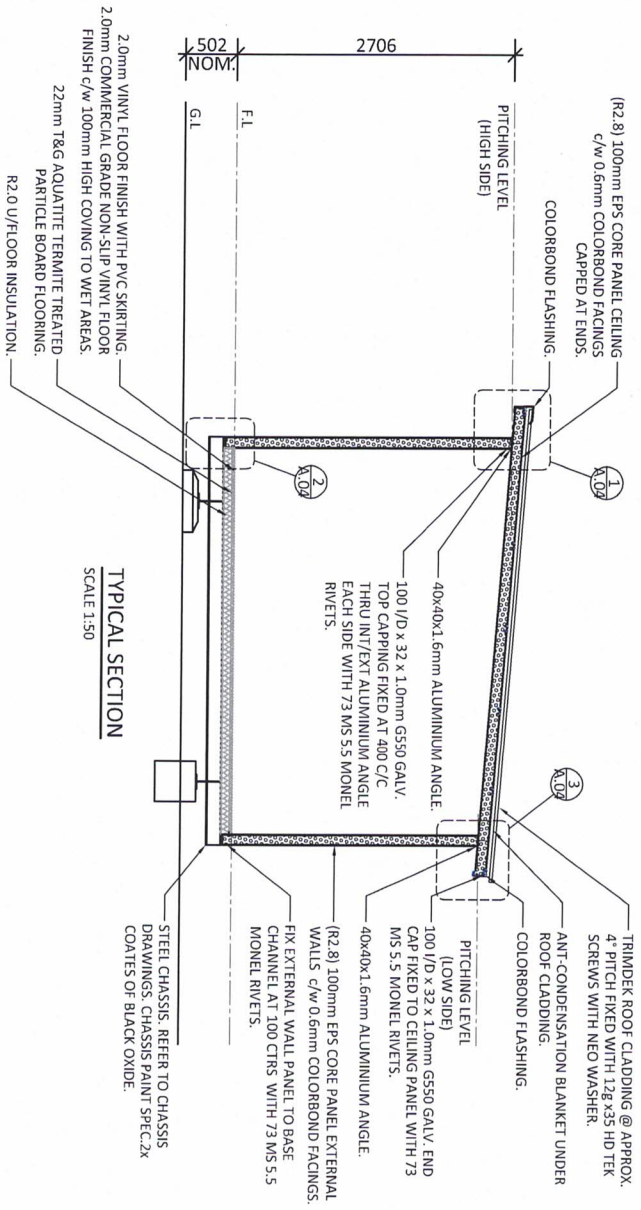
CLIENT SIGNATURE: DA
DATE: 4/5/22

NO.	DESCRIPTION	DATE	BY	CHKD
1	ISSUED AS REVISED	2022/02/02	AP	

MARK	DESCRIPTION
P1	154075



NOTE
COASTAL REQUIREMENTS
 1. ALL COLORBOND FLASHINGS TO BE ULTRA.
 2. COLORBOND CLADDING TO BE ULTRA.
 3. CORROSIVE PROTECTION (GALVANISED) REQUIRED TO CHASSIS AND ANY EXPOSED STEEL.



GENERAL NOTES
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
 2. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
 3. SPECIFICATIONS & CONSULTANTS DOCUMENTATION TO BE USED TO COMPLETE WORK.
 4. DESIGNER & ARCHITECT TO BE ADVISED OF ANY CHANGES TO THE DESIGN.
 5. APPROVALS REQUIRED FOR ALL WORK.

SHEET SECTION
 PROJECT 15.0X4.0 OFFICE / CRIB
 DRAWING NO. A.02



AS SHOWN
 SCALE AP
 SIZE A3
 REVISION A

PROJECT NO. DSN00178
BUILDING ASSET NO. 341-1
PROJECT CLIENT GREAT EASTERN FREIGHTLINE
PROJECT ADDRESS MERREDIN, WA

CLIENT SIGNATURE: DH
DATE: 4/5/22

NO.	DESCRIPTION	DATE	BY	CHK'D
A	ISSUED AS REVISED	20/05/22	AP	



AS3959 Bushfire Attack Level (BAL) Assessment Report

Download this report from <https://jobcomplete.com.au/checker>

Site Details

Address	L900 Mackenzie Cres		
Suburb	Merredin	State	WA
Local Government Area:	Shire of Merredin		
Description of Building Works:	Class 1a		


Report details

Report/Job Number	#WO0369	Client Reference #:	L900 MacKenzie Cres
Assessment Date	12-05-2022	Report Version:	1
Report Is Valid Until:	17-05-2023	Report Date:	17-05-2022

BPAD Accredited Practitioner Details

Company Name:	Bushfire Perth Pty Ltd
Contact Details:	Rod@Balrating.com.au - 0416 985 859
Representative	Roddy Cameron



I hereby declare that I am a BPAD accredited bushfire practitioner.		
Accreditation No.	BPAD - 37279	
Signature	R. Cameron	
Date	As above	

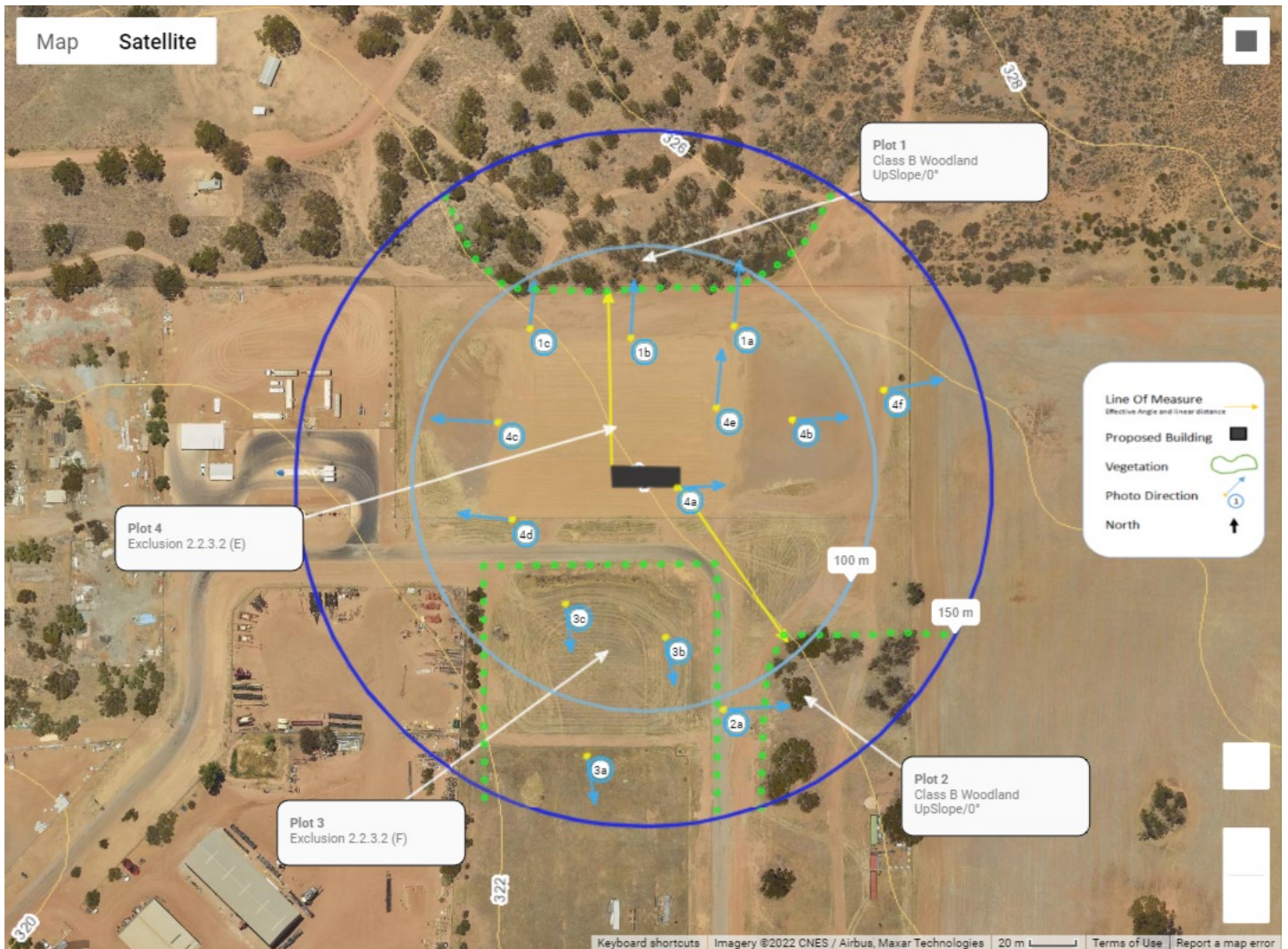
Disclaimer: The measures or recommendations contained in this report are considered to be minimum standards and they do not guarantee that a building will not be damaged in a bushfire. Reliance on the assessment and determination of the Bushfire Attack Level contained in this report should not extend beyond a period of 12 months from the date of issue of the report. If this report was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner name in this report and where required an updated report issued.

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Site Assessment & Site Plans

The assessment of this site / development at 900 Mackenzie Cres Merredin was undertaken on 12-05-2022 by Natalia Smirnova a BPAD Accredited level 1 Practitioner for the purpose of determining the Bushfire Attack Level in accordance with AS3959 - 2018 Simplified Procedure (Method 1).



Plot	Vegetation Classification	Effective Slope	Separation (m)	Exclusions *	BAL
1	Class B Woodland	Upslope/0°	75	-	BAL-12.5
2	Class B Woodland	Upslope/0°	81	-	BAL-12.5
3	Exclusion 2.2.3.2 (F)	-	-	F	BAL-LOW
4	Exclusion 2.2.3.2 (E)	-	-	E	BAL-LOW

Vegetation Classification

All vegetation within 100m of the site / proposed development was classified in accordance with Clause 2.2.3 of AS3959-2018. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below.

Plot 1a	Vegetation-Class B Woodland	Slope-Upslope/0°	BAL-12.5
			
<p>Trees 2-30 meters high with foliage cover in the range of 10 to 30 percent at maturity. Trees dominate woodlands but generally lack the shrubby middle layer and deep surface litter that is characteristic of forests.</p>			


Plot 1b	Vegetation-Class B Woodland	Slope-Upslope/0°	BAL-12.5
			
<p>Trees 2-30 meters high with foliage cover in the range of 10 to 30 percent at maturity. Trees dominate woodlands but generally lack the shrubby middle layer and deep surface litter that is characteristic of forests.</p>			


Plot 1c	Vegetation-Class B Woodland	Slope-Upslope/0°	BAL-12.5
			
<p>Trees 2-30 meters high with foliage cover in the range of 10 to 30 percent at maturity. Trees dominate woodlands but generally lack the shrubby middle layer and deep surface litter that is characteristic of forests.</p>			

Plot 2a	Vegetation-Class B Woodland	Slope-Upslope/0°	BAL-12.5
			
<p>Trees 2-30 meters high with foliage cover in the range of 10 to 30 percent at maturity. Trees dominate woodlands but generally lack the shrubby middle layer and deep surface litter that is characteristic of forests.</p>			

Plot 3a	Vegetation-Exclusion 2.2.3.2 (F)	Slope (-)	BAL-LOW
			
Exclusion clause 2.2.3.2 F, Low threat vegetation including maintained grassland under 100mm in height.			


Plot 3b	Vegetation-Exclusion 2.2.3.2 (F)	Slope (-)	BAL-LOW
			
Exclusion clause 2.2.3.2 F, Low threat vegetation including maintained grassland under 100mm in height.			

Plot 3c	Vegetation-Exclusion 2.2.3.2 (F)	Slope (-)	BAL-LOW
			
Exclusion clause 2.2.3.2 F, Low threat vegetation including maintained grassland under 100mm in height.			

Plot 4a	Vegetation-Exclusion 2.2.3.2 (E)	Slope (-)	BAL-LOW
			
Exclusion clause 2.2.3.2 E - Non-vegetated areas, including waterways, roads, footpaths, building and rock outcrops			

Plot 4b	Vegetation-Exclusion 2.2.3.2 (E)	Slope (-)	BAL-LOW
			
Exclusion clause 2.2.3.2 E - Non-vegetated areas, including waterways, roads, footpaths, building and rock outcrops			

Plot 4c	Vegetation-Exclusion 2.2.3.2 (E)	Slope (-)	BAL-LOW
			
Exclusion clause 2.2.3.2 E - Non-vegetated areas, including waterways, roads, footpaths, building and rock outcrops			

Plot 4d	Vegetation-Exclusion 2.2.3.2 (E)	Slope (-)	BAL-LOW
			
Exclusion clause 2.2.3.2 E - Non-vegetated areas, including waterways, roads, footpaths, building and rock outcrops			

Plot 4e	Vegetation-Exclusion 2.2.3.2 (E)	Slope (-)	BAL-LOW
			
Exclusion clause 2.2.3.2 E - Non-vegetated areas, including waterways, roads, footpaths, building and rock outcrops			

Plot 4f	Vegetation-Exclusion 2.2.3.2 (E)	Slope (-)	BAL-LOW
			
Exclusion clause 2.2.3.2 E - Non-vegetated areas, including waterways, roads, footpaths, building and rock outcrops			

Determined Bushfire Attack Level

Relevant Fire Danger Index

The fire danger index for this site has been determined in accordance with Table 2.1 or otherwise determined in accordance with a jurisdictional variation applicable to the site.

Fire Danger Index

FDI 40
Table 2.4.5

FDI 50
Table 2.4.4

FDI 80
Table 2.4.3

FDI 100
Table 2.4.2

Potential Bushfire Impacts

The potential bushfire impact to the site / proposed development from each of the identified vegetation plots are identified below.

Plot	Vegetation Classification	Effective Slope	Separation (m)	Exclusions *	BAL
1	Class B Woodland	Upslope/0°	75	-	BAL-12.5
2	Class B Woodland	Upslope/0°	81	-	BAL-12.5
3	Exclusion 2.2.3.2 (F)	-		F	BAL-LOW
4	Exclusion 2.2.3.2 (E)	-		E	BAL-LOW

Table 1: BAL Analysis - *Exclusions refer to clause 2.2.3.2 as found in AS3959-2018

Diagram Explaining Slopes



Determined Bushfire Attack Level (BAL)

The Determined Bushfire Attack Level (highest BAL) for the site / proposed development at 900 Mackenzie Cres Merredin has been determined in accordance with clause 2.2.6 of AS3959-2018 using the above analysis.

Bushfire Attack Level Determined On 12-05-2022

Bal-12.5

Radiant Heat Levels

BAL rating	Explanation	Risk
BAL - LOW	There is insufficient risk to warrant any specific construction requirements but there is still some risk.	BAL - LOW
BAL - 12.5	There is a risk of ember attack. The construction elements are expected to be exposed to a heat flux not greater than 12.5 kW/m ² .	LOW
BAL - 19	There is a risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to radiant heat.	MODERATE
BAL - 29	There is an increased risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to an increased level of radiant heat.	HIGH
BAL - 40	There is a much increased risk of ember attack and burning debris ignited by windborne embers, a likelihood of exposure to a high level of radiant heat and some likelihood of direct exposure to flames from the fire front	VERY HIGH
BAL - FZ	There is an extremely high risk of ember attack and burning debris ignited by windborne embers, and a likelihood of exposure to an extreme level of radiant heat and direct exposure to flames from the fire front.	EXTREME

The Australian Standard AS3959-2018 Construction of buildings in bushfire prone areas

The Australian Standard AS3959 describes comprehensive methodology of assessing bushfire attacks and advises specific construction details for dwellings to diminish the risk of combustion caused by burning embers, radiant heat or direct flame contact generated by a bushfire and its intensity on the dwelling.

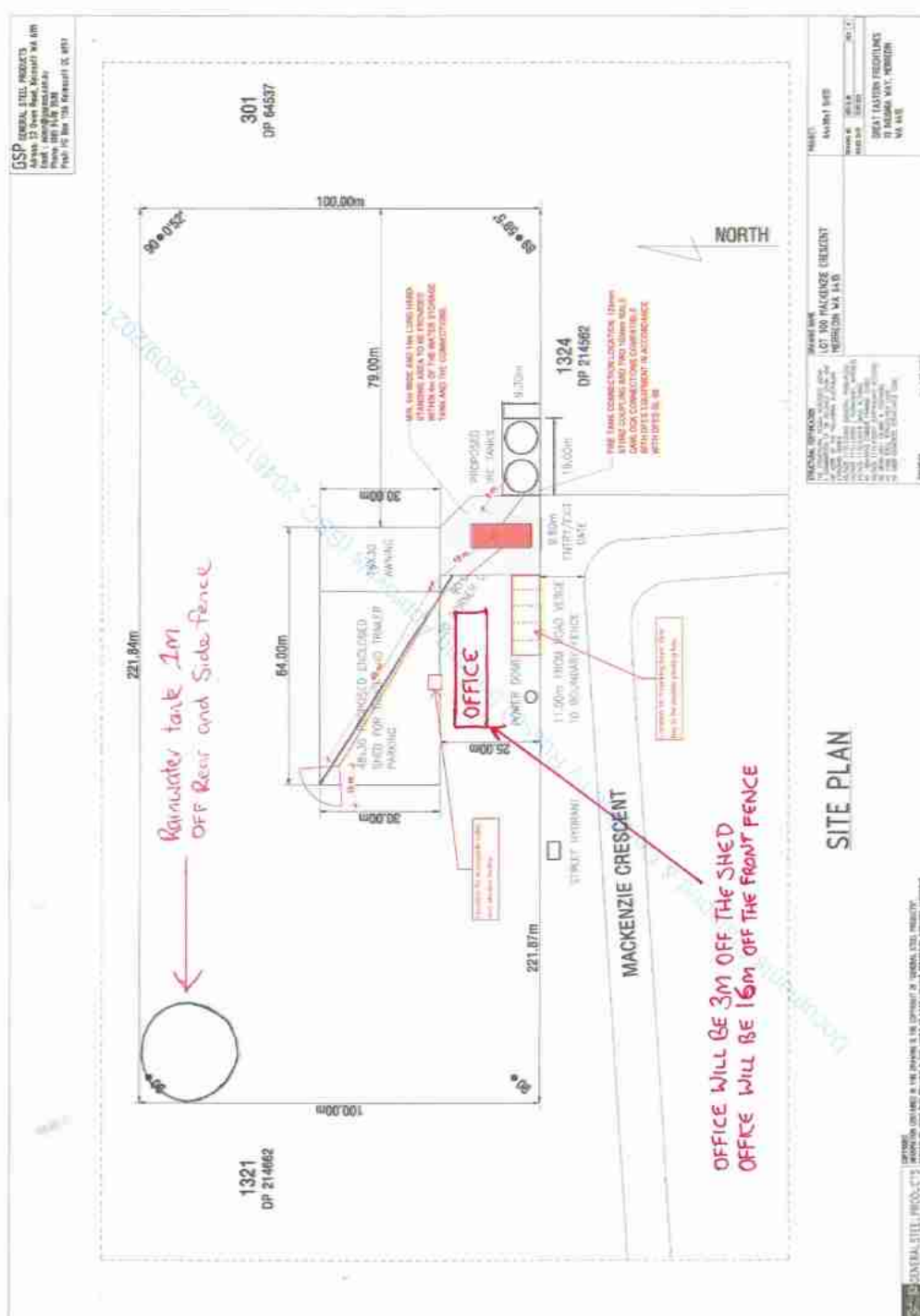
Construction Requirements

BAL rating	Requirements	AS3959-2018 Page number
LOW	No construction requirements Section 4	
BAL 12.5	Construction sections 3 and 5	pg42
BAL 19	Construction sections 3 and 6	pg50
BAL 29	Construction sections 3 and 7	pg58
BAL 40	Construction sections 3 and 8	pg67
BAL FZ	Construction sections 3 and 9	pg74

Appendix 1 - Site Plan showing setbacks

This report has been generated taking into consideration the information provided by client at the time of placing their booking with this office. If any amendments are made to this information the client is responsible to contact this office to confirm that the changes do not conflict with the issued BAL rating.

All recommendations, projections and assessments associated with the current project are made in good faith on the basis of information available to the assessor at the time of assessment; and the level of implementation of bushfire protection measures will depend on the actions of the landowners or occupiers over which this office has no control.



Appendix 2

Exclusions

Areas of Vegetation that do not trigger a BAL rating BAL-LOW (i.e. low threat) according to AS3959 includes the following:

- Vegetation of any type more than 100 m from the site.
- Single areas of vegetation less than 1 ha in area and not within 100 m of other areas of vegetation being classified.
- Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site or each other.
- Strips of vegetation less than 20 m wide (measured perpendicular to the elevation exposed to the strip of vegetation) regardless of length and not within 20 m of the site or each other, or other areas of vegetation being classified.
- Non-vegetated areas, including waterways, roads, footpaths, buildings and rocky outcrops.
- Low threat vegetation, including grassland managed in a minimal fuel condition. maintained lawns, golf courses, maintained public reserves and parkland, vineyards, orchards, cultivated gardens, commercial nurseries, nature strips and wind breaks

Disclaimer Statement

Disclaimer

This report is distributed under the understanding that this office and its assessor are not responsible for any results of any actions taken on the basis of the information contained within this document or for any errors in or omission from it. Some or all of the information contained within this report may have been provided by a 3rd party, this office and its assessors are not responsible for any inaccuracy or misrepresentation of information provided to them to complete this report. It should be understood that the main reason of this document is to look into diminishing the impact and danger of a bushfire in an identified bushfire prone area to the residents of the District.

It must be outlined that fuel loading and weather conditions prevailing at the time of bushfire event may persuade high intensity fire to occur posing a risk to lives and property. This must be taken into consideration by any person living or staying within a bushfire prone area. This Bushfire Attack Level Assessment is based on site conditions described as at the date of its assessment indicated by this report. Any changes to the current vegetation type, structure and fuel loadings will modify the bushfire attack level and invalidate this report.

-- End of BAL assessment --

What Is An Asset Protection Zone?

An Asset Protection Zone (APZ) is a fuel reduced area surrounding a built asset or structure. This can include any residential building or major building such as farm and machinery sheds, or industrial, commercial or heritage buildings. An APZ provides:

- a buffer zone between a bush fire hazard and an asset;
- an area of reduced bush fire fuel that allows suppression of fire;
- an area from which backburning may be conducted; and
- an area which allows emergency services access and provides a relatively safe area for firefighters and home owners to defend their property.

Potential bush fire fuels should be minimised within an APZ. This is so that the vegetation within the planned zone does not provide a path for the transfer of fire to the asset either from the ground level or through the tree canopy.

Design of Asset Protection Zone

The proportion of the APZ reflect the distance from the hazard to ensure adequate separation is achieved

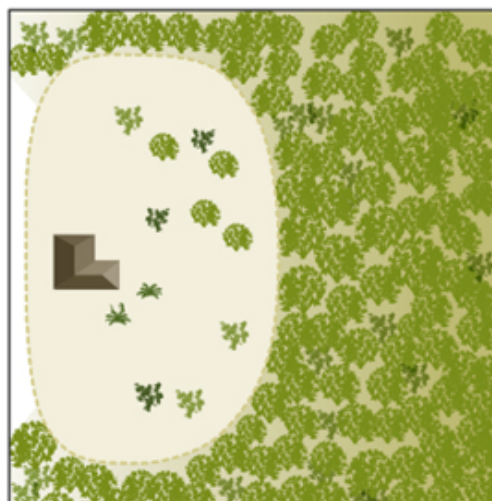
Hazard on one side

● APZ



Hazard on three sides

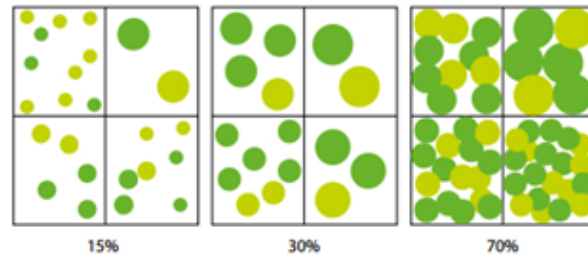
● APZ



Tree Canopy Cover

Tree canopy cover should be less than 15% with tree canopies at maturity well spread to at least 5 metres apart as to not form a continuous canopy.

Figure 18: Tree canopy cover – ranging from 15 to 70 per cent at maturity



Steps Required To Setup And Maintain An Asset Protection Zone (APZ)

Asset Protection Zone (APZ) means a low fuel area immediately surrounding habitable buildings and is to meet the following requirements:

- **Minimum width:**
Measured from any external wall or supporting post or column of the proposed building or the building envelope, and of sufficient size to ensure the potential radiant heat impact of a bushfire does not exceed 29kW/m^2 (BAL-29)
- **Sheds:**
should not contain flammable materials.
- **Location:**
wholly within the development site
- **Objects:**
within 10 metres of a building, combustible objects must not be located close to the vulnerable parts of the building i.e. windows and doors.
- **Trees (> 5 metres in height):**
trunks at maturity should be a minimum distance of 6 metres from all elevations of the building, branches at maturity should not touch or overhang the building, lower branches should be removed to a height of 2 metres above the ground and or surface vegetation, canopy cover should be less than 15% with tree canopies at maturity well spread to at least 5 metres apart as to not form a continuous canopy. No tree crowns overhang the building.
- **Shrubs (0.5 metres to 5 metres in height):**
should not be located under trees or within 3 metres of buildings, should not be planted in clumps greater than 5m^2 in area, clumps of shrubs should be separated from each other and any exposed window or door by at least 10 metres. Shrubs greater than 5 metres in height are to be treated as trees.
- **Ground covers (<0.5 metres in height):**
can be planted under trees but must be properly maintained to remove dead plant material and any parts within 2 metres of a structure, but 3 metres from windows or doors if greater than 100 millimetres in height. Ground covers greater than 0.5 metres in height are to be treated as shrubs.
- **Grass:**
Should be managed to maintain a height of 100 millimetres or less. Cut before every fire season
Cut before every fire season

It is the responsibility of the owner to ensure that the APZ is created and maintained through appropriate design to ensure their property complies with the APZ standards outlined above. All Bushfire attack level ratings (BAL ratings) has been calculated with the conditions that are found on site at the time of assessment. It is very important that as the owner/owners of 900 Mackenzie Cres Merredin understand that any modifications to the site do not disregard the advice contained on asset protection zones. Allowing vegetation to grow around a building in a bushfire prone area will greatly increase the risk to your site and invalidate your bushfire attack level rating that is currently rated as BAL-12.5

More information on asset protection zones can be found by contacting your local shire at the Shire of Merredin

Additional Comments

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address: L900 Mackenzie Cres

Suburb: Merredin

State: WA

Local Government Area: Shire of Merredin

Report / Job Number: #WO0369

Report Date: 17-05-2022

Determination of Highest Bushfire Attack Level

AS3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class B Woodland	Upslope/0°	81m	12.5

BPAD Accredited Practitioner Details


Name

Roddy Cameron

Company Details

Bushfire Perth Pty Ltd, Booking@BALRating.com.au - 0416 985 859

I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS3959-2018

I hereby declare that I am a BPAD accredited bushfire practitioner. 

Accreditation No. *BPAD-37279*

Signature *R. Cameron*

Date *As above*

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.