

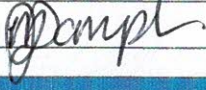




APPLICATION FOR PLANNING APPROVAL

LOCAL PLANNING SCHEME No. 6 - SCHEDULE 6 - (CLAUSE. 9.1.1)

OWNERS DETAILS			
Name/s:	Salvatore & Vicki MUSCA		
Address:	2 HARLING ST		Post Code: 6415
	Merredin	WA	
Phone work:	—	Phone home: —	Fax: —
Mobile:	0438 932676	Email: vmusca@bypond.com	
Signature:		Date:	2.4.2020
Signature:		Date:	2.4.2020
NB: The owner/s signature/s are required for your application to be processed.			

APPLICANTS DETAILS			
Name: Tompkin Engineering			
Address:	PO Box 629		Post Code: 6415
	Merredin WA		
Contact person for correspondence: Monica Tompkin			
Phone work:		Phone home:	Fax:
Mobile:	0427 503 848	Email: tompkineng@merredin.net.au	
Signature:		Date: 01/04/2020	

PROPERTY DETAILS			
Lot No:	2	House/Street No:	51
Location No:			
Street name:	Harling Street		
Suburb:	Merredin	Post Code:	6415
Nearest street intersection:	Haines Street		
Diagram or plan:		Certificate of title:	
Folio:			
Title encumbrances (e.g. easements, restrictive covenants)			

PROPOSED OR EXISTING BUILDING/LAND USE	
Description of proposed development and/or land use:	Installation of Carport
Nature of any existing buildings and/or land use:	Residential - House, Patio, Shed
Approximate cost of proposed development:	\$ 9,970
Estimated time of completion:	Two months

OFFICE USE ONLY	
Acceptance Officer's initials :	Date received:
Local government reference no:	

**ADJOINING PROPERTY OWNER COMMENT ON PROPOSED VARIATION
TO THE RESIDENTIAL DESIGN CODES**

2. ADJOINING PROPERTY DETAILS

Name: Doreen French
Lot No.: 50 Street No.: #21 Street Name: Haines Street
Suburb: Merredin Postcode: W.A.

LOCATION OF PROPOSED DEVELOPMENT

Name: Sam & Vicki Musca
Lot No.: 51 Street No.: #2 Street Name: Harling Street
Suburb: Merredin Postcode: 6415

DETAILS OF VARIATION OF WHICH COUNCIL DISCRETION IS REQUIRED AND COMMENTS SOUGHT

Plan Attached

OWNER'S COMMENTS

Object/Do not object

Do not object.

Signed: D.M. French Date: 2/4/20 Phone: 0427221102
Print Name: D.M. French
Signed: _____ Date: _____ Phone: _____
Print Name: _____

Note: The Council in determining the application for a variation under the Residential Design Codes will take into account the comments of adjoining owners. The Council is not obliged to support the views of adjoining owners

**ADJOINING PROPERTY OWNER COMMENT ON PROPOSED VARIATION
TO THE RESIDENTIAL DESIGN CODES**

1. ADJOINING PROPERTY DETAILS

Name: Erin Keamy & Tom Gower
Lot No.: 52 Street No.: #4 Street Name: Harling Street
Suburb: Merredin Postcode: W.A.

LOCATION OF PROPOSED DEVELOPMENT

Name: Salvatore + Vicki MUSCA
Lot No.: 51 Street No.: #2 Street Name: Harling Street
Suburb: Merredin Postcode: 6415

**DETAILS OF
VARIATION OF WHICH COUNCIL DESCRETION IS REQUIRED AND COMMENTS SOUGHT**

Plan Attached

OWNER'S COMMENTS

~~Object~~ Do not object

Signed: [Signature] Date: 1-4-20 Phone: 0439 508 224
Print Name: Erin Keamy & Tom Gower
Signed: _____ Date: _____ Phone: _____
Print Name: _____

Note: The Council in determining the application for a variation under the Residential Design Codes will take into account the comments of adjoining owners. The Council is not obliged to support the views of adjoining owners

APPENDIX 1

CODES APPROVAL APPLICATION FORM

Residential Design Codes of Western Australia

APPLICATION FOR SINGLE HOUSE/OUTBUILDING CODES VARIATION

To: **Shire of Merredin**.....

NOTE: This is not an application for Planning Approval.

Application for Single House/Outbuilding Approval is to be made on this form

IF

an application for Planning Approval is not required under the Town Planning Scheme

AND

the proposed development involves one of the following:

- the exercise of a discretion by the Council under the Residential Design Codes; or
- the exercise of a discretion by the Council under a Local Planning Policy made in accordance with the Town Planning Scheme.

If you are in doubt about whether application should be made on this form, please consult the Council's planning or building officers.

OWNER DETAILS:

Name: **Sam & Vicki Musca**

Address: **#2, Lot 51 Harling Street Merredin W.A. 6415**

Signature:  Date: **2.4.2020**

Signature:  Date: **2.4.2020**

All owners must sign this form or an attachment if there is not sufficient space. State your position where signing on behalf of a company. This application will not proceed otherwise.

APPLICANT DETAILS:

Name: **Tompkin Engineering**

Address: **PO Box 629, Merredin, WA, 6415**

Contact Person: **Monica Tompkin** Phone: **0427 503 848**

Fax: Email: **tompkineng@merredin.net.au**

Signature:  Date: **7.4.20**

PROPERTY DETAILS:

Lot No: **51**

Location: **#2 Harling Street Merredin W.A. 6415**

Nearest Street Intersection: **Haines Street**

Title Encumbrances (e.g. easements, restrictive covenants)

Approximate cost of proposed development:

DETAILS OF DISCRETIONARY DECISION(S)

1. Please provide details of each aspect of the proposed development which does not conform to an "Acceptable Development" provision of the Codes or a Local Planning Policy made under the Town Planning Scheme.
2. Please refer to the specific performance criterion or other provision under which the Council's discretionary decision is required and give full reasons in support of your proposal.
3. Attach further information in support if needed.

Clause

5.1.3 Lot boundary setback

• DESCRIBE NON COMPLIANCE

1. The R-Codes define the measure of a boundary wall to include carports. This means the overall east side boundary wall exceeds the 9m max. length permitted 1.0m off the boundary. (ie. Wall will measure 17.72m including the proposed open carport). See attached site plan.

2. The proposed exceeds the Merredin Shire's planning policy table 8.22 Outbuildings in residential areas for the maximum allowable square metre of outbuildings, maximum wall & ridge heights.

For lot size 750 – 999m² Table 8.22 allows;

97m² aggregate total of all outbuildings, actual total will be 100.25m²

Maximum wall height of 3.0m, actual will be 3.05m

Maximum ridge height of 3.6m, actual will be <3.9m

Design Principle

P3.1 Buildings set back from lot boundaries so as to:

1. Reduce the impact of building bulk on adjoining properties
2. Provide adequate direct sun and ventilation to the building and open spaces on the site and adjoining properties; and
3. Minimise the extent of overlooking and resultant loss of privacy on adjoining properties.

Justification

1. The R-codes do not define the structure of a carport as wall unless it's enclosed, or the floor level is greater than 0.5m above ground level. The proposed carport extension is to be open & at natural ground level. The R-Codes table 2a allows possible nil setback in accordance with clause 5.1.3. R-codes Part 5 P3.2 allows Buildings built up to boundaries (other than the street boundary).

The extension in no way adversely effects the amenity of the adjoining property, and this is made clear when comparing what is proposed and what is otherwise acceptable. In the same location, the R-Codes would otherwise permit in lieu of the 2.9m-3.05m high

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(gutter height) open framed structure 1.07m off the boundary, the construction of a 3.5m high solid wall being offset 1.5m from the boundary. This wall could have a continuous eave overhang up to 750mm therefore being only 750mm off the boundary for its full length. So, the Deemed-to-Comply provisions would allow solid construction 17.7m in length at a height of 3.5m set back 1.5m from the boundary with its roof line up to 750mm off the boundary. This is taken to be the benchmark for acceptable building bulk. The proposed 2.9m-3.05m high (gutter height) carport is open therefore has very little bulk. Its only vertical building elements along the eastern boundary being three 100mm posts spaced 4.37m & 4.54m apart with the roof extending down to 2.4m above ground level. The roof line of the carport will be set back 1070mm from the boundary, this being 320 mm further than otherwise required by the Deemed-to-Comply. It is our view when compared with the benchmark set by the Deemed-to-Comply the building bulk satisfies P3.1.

2. The proposed carport extra height exceeding Merredin Shire's planning policy table 8.22 is to shelter a caravan.

OFFICE USE ONLY

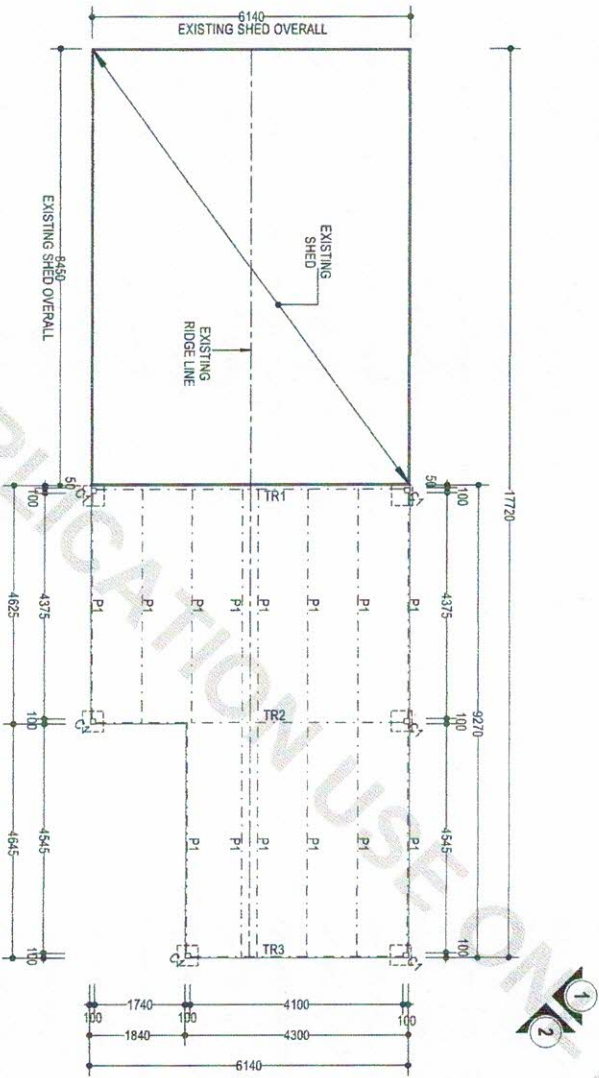
Accepting officer's initials: Date received

Council Reference No:

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NOTE:
PLANS SUBJECT TO
ENGINEERS CERTIFICATION

NOTE:
ALL DIMENSIONS, LEVELS &
MATERIALS TO BE CHECKED ON
SITE PRIOR TO CONSTRUCTION.



FLOOR / ROOF PLAN
SCALE 1:100

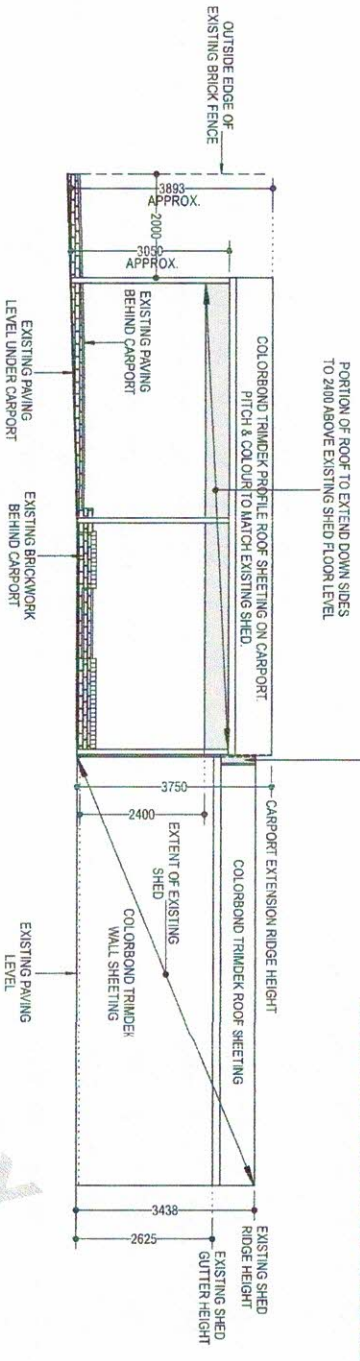
CARPENT MEMBER SCHEDULE - Subject to Engineering

C1	100 x 100 x 3.0mm SHS STEEL COLUMN (GALVANISED)
TR1	100 x 50 x 1.6mm RHS STEEL FULLY WELDED TRUSS (GALVANISED)
TR2	100 x 50 x 1.6mm RHS STEEL FULLY WELDED TRUSS (GALVANISED)
TR3	100 x 50 x 1.6mm RHS STEEL FULLY WELDED TRUSS (GALVANISED)
P1	100 x 50 x 2.0mm RHS STEEL PURLIN (GALVANISED)
B1	100 x 50 x 2.0mm RHS BEAM BETWEEN COLUMNS (GALVANISED)

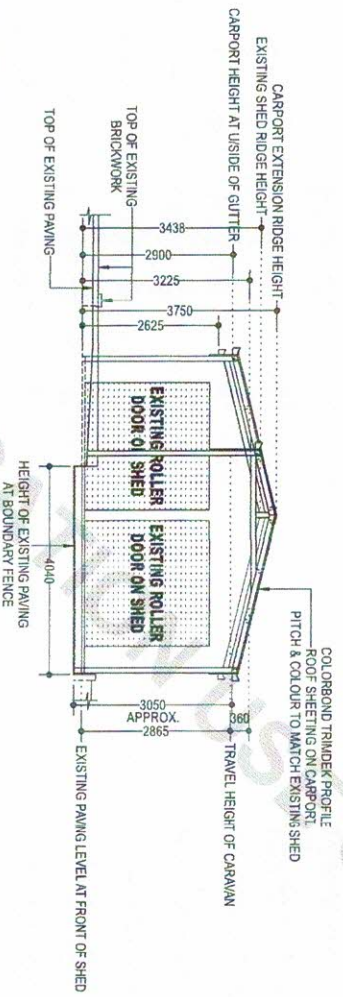
DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS SHOWN ONLY.		WEBSITE: www.waynesdesignanddrafting.com.au	
JOB TITLE: PROPOSED CARPORT AT #2, LOT 51 HARLING STREET MERRIEDIN W.A. 6415	DRAWING TITLE: FLOOR / ROOF PLAN	WAYNES DESIGN & DRAFTING	
DATE: MARCH 2020	DRAWING NO.: 2	DRAFTSMAN: WAYNE BILL	
DRAWN FOR: TOMPKIN ENGINEERING	JOB NO.: 19046	NO. IN SET: 5	A.S.N.: 11 583 616 982
		3 ELLIS ROAD MERRIEDIN W.A. 6415 PH/FAX (08) 94413 837	
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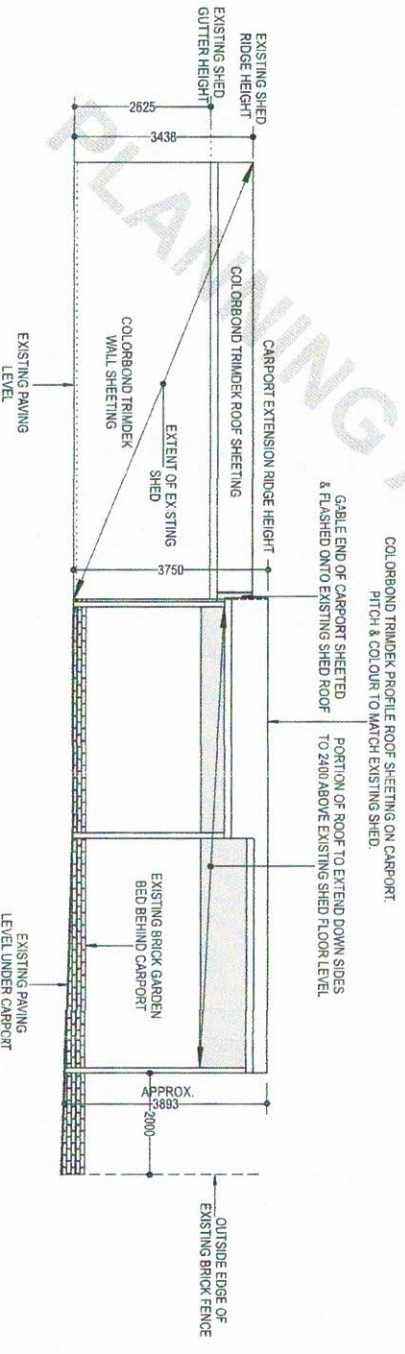
NOTE:
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ELEVATION 1
SCALE 1:100



ELEVATION 2
SCALE 1:100



ELEVATION 3
SCALE 1:100

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS SHOWN ONLY.

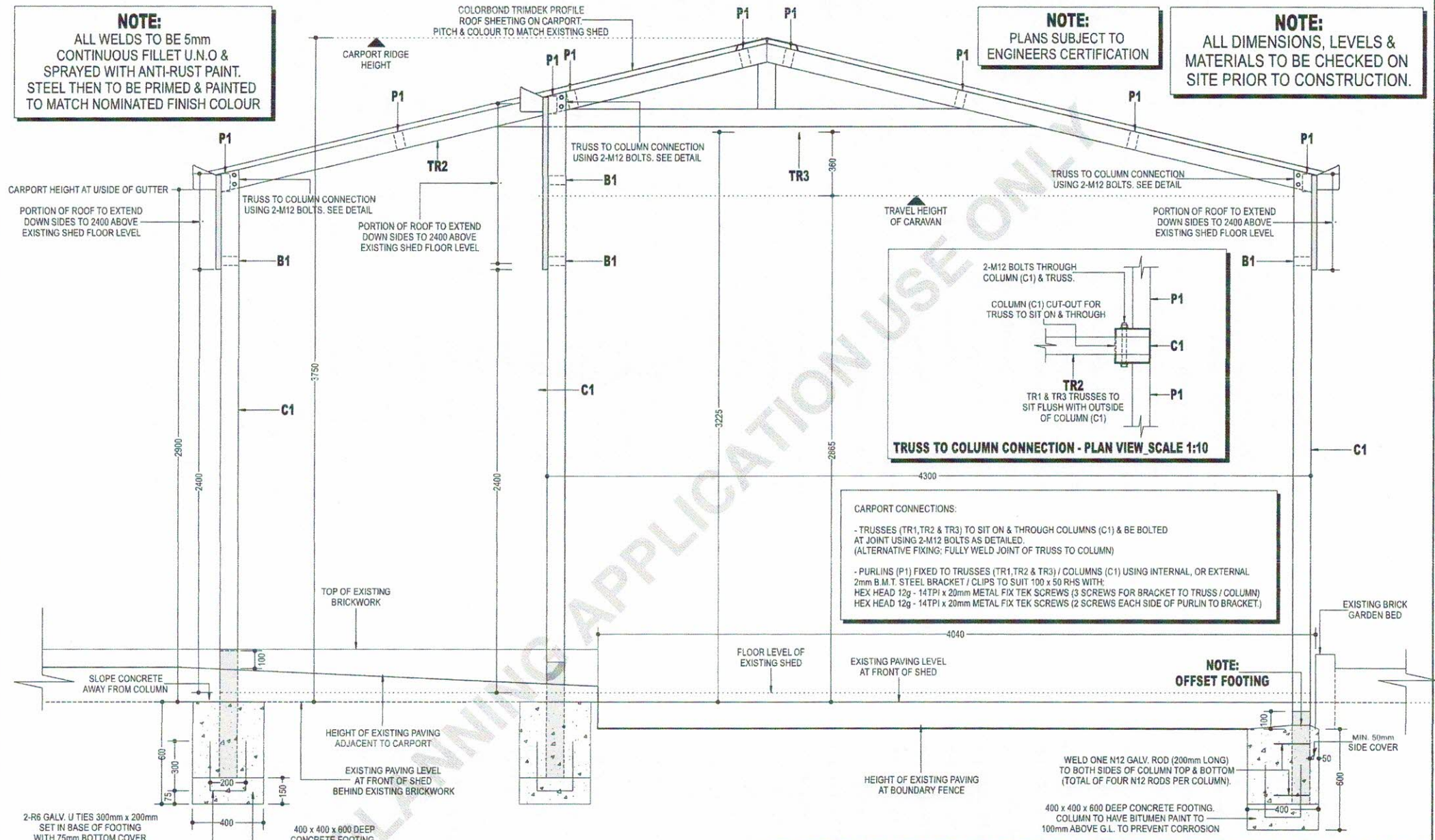
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DATE: MARCH 2020		DRAWING NO.: 3		WAYNES DESIGN & DRAFTING	
DRAWN FOR: TOWPKIN ENGINEERING		JOB NO.: 19046		DRAFTSMAN: WAYNE BILL	
		NO. IN SET: 5		A.B.N.: 11 593 616 982	
				3 ELLIS ROAD MERRIEDIN W.A. 6415 PH: FAX (08) 90443 537	

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NOTE:
ALL WELDS TO BE 5mm
CONTINUOUS FILLET U.N.O &
SPRAYED WITH ANTI-RUST PAINT.
STEEL THEN TO BE PRIMED & PAINTED
TO MATCH NOMINATED FINISH COLOUR

NOTE:
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CARPOR CONNECTIONS:

- TRUSSES (TR1, TR2 & TR3) TO SIT ON & THROUGH COLUMNS (C1) & BE BOLTED AT JOINT USING 2-M12 BOLTS AS DETAILED. (ALTERNATIVE FIXING: FULLY WELD JOINT OF TRUSS TO COLUMN)
- PURLINS (P1) FIXED TO TRUSSES (TR1, TR2 & TR3) / COLUMNS (C1) USING INTERNAL, OR EXTERNAL 2mm B.M.T. STEEL BRACKET / CLIPS TO SUIT 100 x 50 RHS WITH:
HEX HEAD 12g - 14TP1 x 20mm METAL FIX TEK SCREWS (3 SCREWS FOR BRACKET TO TRUSS / COLUMN)
HEX HEAD 12g - 14TP1 x 20mm METAL FIX TEK SCREWS (2 SCREWS EACH SIDE OF PURLIN TO BRACKET)

NOTE: OFFSET FOOTING

WELD ONE N12 GALV. ROD (200mm LONG) TO BOTH SIDES OF COLUMN TOP & BOTTOM (TOTAL OF FOUR N12 RODS PER COLUMN).

400 x 400 x 600 DEEP CONCRETE FOOTING. COLUMN TO HAVE BITUMEN PAINT TO 100mm ABOVE G.L. TO PREVENT CORROSION

2-R6 GALV. U TIES 300mm x 200mm SET IN BASE OF FOOTING WITH 75mm BOTTOM COVER. CONCRETE TO BE POURED LEVEL TO 150mm ABOVE BOTTOM OF HOLE, THEN ONCE HARDENED PLACE COLUMN AS SHOWN & POUR REMAINDER OF CONCRETE FOOTING TO ENCASE COLUMN.

400 x 400 x 600 DEEP CONCRETE FOOTING. COLUMN TO HAVE BITUMEN PAINT TO 100mm ABOVE G.L. TO PREVENT CORROSION

CARPOR DETAIL
SCALE 1:20

NOTE:
CAP ALL OPEN ENDS
OF TUBULAR STEEL

BOLT GRADES:
ZINC PLATED M12 8.8/S BOLT
W/WASHERS & NUT
UNLESS NOTED OTHERWISE

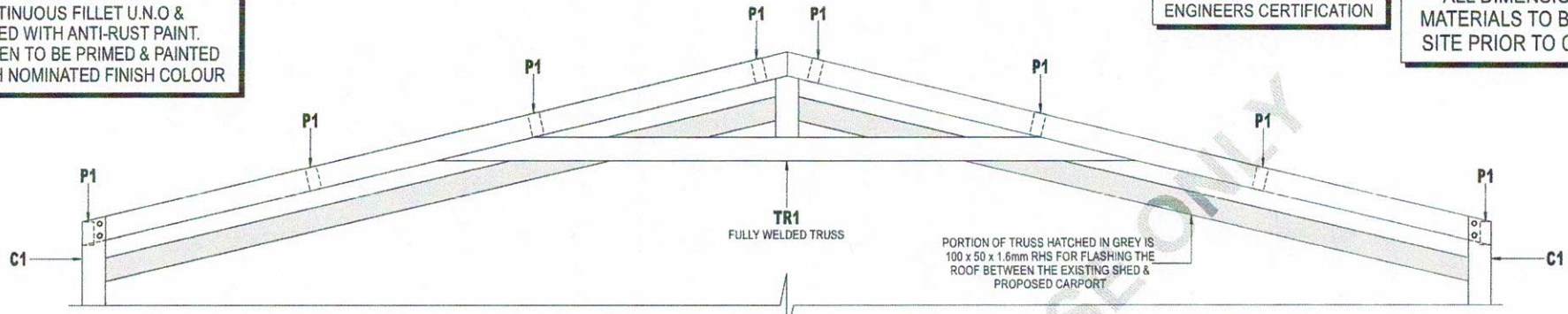
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JOB TITLE : PROPOSED CARPORT AT #2, LOT 51 HARLING STREET MERREDIN W.A. 6415		DRAWING TITLE : DETAILS	
DATE: MARCH 2020	DRAWING NO.: 4	WAYNES DESIGN & DRAFTING DRAFTSMAN : WAYNE BILL A.B.N. 11 593 616 982 3 ELLIS ROAD MERREDIN W.A. 6415 PH/FAX (08) 90413 937	
DRAWN FOR: TOMPKIN ENGINEERING	JOB No: 19046		

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NOTE:
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 CONTINUOUS FILLET U.N.O &
 SPRAYED WITH ANTI-RUST PAINT.
 STEEL THEN TO BE PRIMED & PAINTED
 TO MATCH NOMINATED FINISH COLOUR

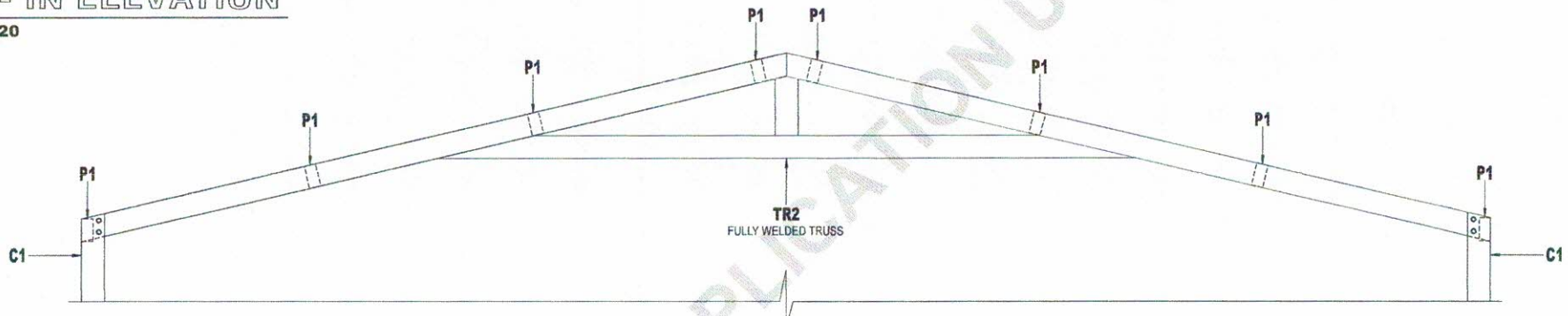
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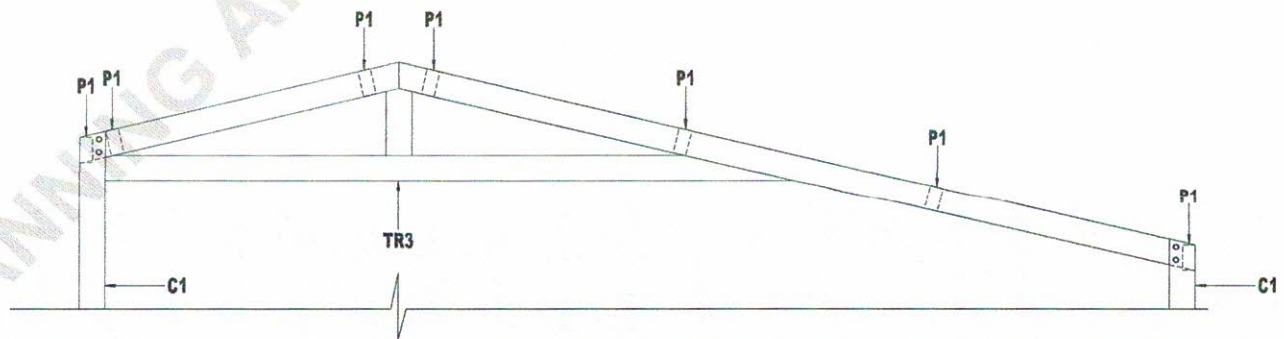
TR1 - IN ELEVATION

SCALE 1:20



TR2 - IN ELEVATION

SCALE 1:20



TR3 - IN ELEVATION

SCALE 1:20

NOTE:
 CAP ALL OPEN ENDS
 OF TUBULAR STEEL

BOLT GRADES:
 ZINC PLATED M12 8.8/S BOLT
 W/WASHERS & NUT
 UNLESS NOTED OTHERWISE

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS SHOWN ONLY.		WEBSITE: www.waynesdesignanddrafting.com.au	
JOB TITLE : PROPOSED CARPORT AT #2, LOT 51 HARLING STREET MERREDIN W.A. 6415		DRAWING TITLE : TRUSS PROFILES	
DATE: MARCH 2020	DRAWING NO.: 5	WAYNES DESIGN & DRAFTING DRAFTSMAN : WAYNE BILL A.B.N. 11 593 616 982	
DRAWN FOR: TOMPKIN ENGINEERING	JOB No: 19046	NO. IN SET : 5	3 ELLIS ROAD MERREDIN W.A. 6415 PH/FAX (08) 90413 937
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POLICY NUMBER	-	8.22
POLICY SUBJECT	-	8.22 Outbuildings in Residential Areas
ADOPTED	-	19 August 2003 (CMRef 27163)
AMENDED	-	17 July 2012 (CMRef 30919)
AMENDED	-	20 December 2016

Objectives:

To ensure a level of consistency with the size, the height and setbacks of outbuildings in residential areas, to minimise any adverse impact on the amenity to neighbouring property owners and to contribute towards the aesthetics of the streetscape.

Definitions:

• Residential Areas:

Any Residential, Special Residential and Rural Residential zones.

• Outbuilding:

Any Class 10a building under the current National Construction Code (BCA) which is not connected or abutted to a dwelling.

• Reflective Materials:

Not limited to, but includes the following:

- *Zincalume® or similar product;*
- *Any shiny metallic finish; and*
- *White coloured metallic materials.*

• Maximum single outbuilding m²:

The maximum floor area of any single outbuilding measured from the external edges of the wall cladding or in the case of an unenclosed building where the external edges of the wall cladding would be if the structure was enclosed.

• Aggregate total of all outbuildings m²:

The total floor area of all outbuildings located on the site and measured from the external edges of the wall cladding or in the case of an unenclosed building where the external edges of the wall cladding would be if the structure was enclosed.

Policy:

Outbuildings that satisfy the following development criteria may be approved by the Executive Manager of Development Services.

a) Outbuildings which are enclosed are to be located behind the primary street setback in accordance with the Shire of Merredin Local Planning Scheme No 6 (as amended) and the State Planning Policy 3.1 – Residential Design Codes;

b) All enclosed outbuildings to have a minimum setback of 1500mm from any secondary street, right of way or private street frontage;

c) Supports to an open carport, may be placed up to a boundary, other than a primary street, secondary street, right of way or private street provided they are of non-combustible material and the roof-line of the carport is setback a minimum of 500mm from that boundary in accordance with the National Construction Codes (BCA).

d) Outbuildings comply with the current National Construction Code (BCA).

e) An application that indicates that reflective materials are to be used for wall and or roof cladding and in the opinion of the Executive Manager of Development Services, is likely to cause a nuisance to neighbouring property owners may be refused.

f) If in the opinion of the Executive Manager of Development Services, an application that indicates the use of reflective materials for wall and or roof cladding is likely to cause a nuisance to neighbouring property owners,

- May be refused; or
- The applicant may wish to provide clear and fully detailed documentation to show how any reflective issues will be addressed so as not to cause a nuisance to neighbouring property owners; or
- In the opinion of the Executive Manager of Development Services, any reflective issues that may arise and to cause a nuisance to neighbouring property owners is likely to be minimal, the property owner/s may enter into an

agreement with Council, at the Chief Executive Officers discretion and at the property owner's expense, that should there be a valid complaint, that the owner/s will immediately do such things to minimize the nuisance, by, but not limited to painting or screening with Council's prior approval.

- g) Outbuildings are constructed of all new materials; or
- h) Where pre used materials are proposed to be used,
 - The applicant will be required to provide sufficient detail, specifications and photos to demonstrate to the Executive Manager of Development Services that the appearance of the proposed pre used materials will not detract from the streetscape; or
 - The applicant may need to provide detail of how they intend to treat the used materials so that the finish will meet an acceptable standard; and
 - The applicant may be required to provide Certification from a Practising Structural Engineer as to the structural adequacy of the design and or materials proposed to be used.
- i) Out buildings are not for habitable or commercial purposes;
- j) The construction of an outbuilding does not reduce the amount of open space required by the Residential Design Codes to less than the prescribed amount;
- k) Outbuildings are of size in area, or the aggregate total of size in area of all the outbuildings on the lot and the wall and ridge heights comply with the values contained in Policy Table 8.22 Outbuildings in Residential Areas.
- l) For minor variations the Executive Manager of Development Services may consider Code Variations in accordance with the Residential Design Codes of Western Australia (RDC) and view such applications on the proposed project's merits as detailed within the RDC.

Policy Table 8.22 Outbuildings in Residential Areas

LOT AREA (m²)	MAXIMUM SINGLE OUTBUILDING (m²)	AGGREGATE TOTAL OF ALL OUTBUILDINGS (m²)	MAXIMUM WALL HEIGHT	MAXIMUM RIDGE HEIGHT
500 – 749	46	62	2.4	3.6
750 – 999	73	97	3.0	3.6
1000 – 1249	94	125	3.0	3.6
1250 – 1699	117	156	3.0	3.9
1700 – 2049	130	202	3.0	3.9
2050 – 2999	143	262	3.3	4.2
3000 – 5000	157	375	3.6	4.5