


# Application for development approval



SHIRE OF  
**MERREDIN**  
INNOVATING THE WHEATBELT

Owner details		
Name: ALIX NELSON		
ABN (if applicable):		
Address: <del>17</del> TODD STREET LOT 7		
MERREDIN		Postcode: 6415
Phone: Work:	Fax:	Email: alix.garner@outlook.com
Home:		
Mobile: 0457339 161		
Contact person for correspondence :		
Signature: 		Date: 20.2.21
Signature:		Date:
<p><i>The signature of the owner(s) is required on all applications. This application will not proceed without that signature. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clause 62 (2).</i></p>		
Applicant details (if different from owner)		
Name:		
Address:		
		Postcode:
Phone: Work:	Fax:	Email:
Home:		
Mobile:		
Contact person for correspondence :		
<p>The information and plans provided with this application may be made available by the local government for public viewing in connection with the application. <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		

Signature: 	Date: 20.2.21
---	---------------

Property details		
Lot No: 7	House/Street No: 17	Location No:
Diagram or Plan No:	Certificate of Title Vol. No: 1665	Folio: 314
Title encumbrances (e.g. easements, restrictive covenants):		
Street Name: TODD STREET		Suburb: MERREDIN
Nearest street intersection: GREAT EASTERN HWY.		

Proposed development	
Nature of Development	<input checked="" type="checkbox"/> Works <input checked="" type="checkbox"/> Use <input checked="" type="checkbox"/> Works and use
Is an exemption from development claimed for part of the development?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, is the exemption for	<input type="checkbox"/> Works <input checked="" type="checkbox"/> Use
Description of proposed works and/or land use: SHED	
Description of exemption claimed (if relevant):	
Nature of any existing buildings and/or land use: N/A	
Approximate cost of proposed development: \$17,000	
Estimated time of completion: 3 MONTHS	

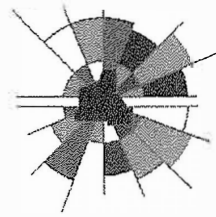
<b>OFFICE USE ONLY</b>
------------------------

# TAX INVOICE/RECEIPT

Receipt Number: 128578

Receipt Date: : 31.05.22

Payer: Alix Nelson



SHIRE OF  
**MERREDIN**  
INNOVATING THE WHEATBELT

**ABN: 87 065 676 484**

PO Box 42,  
Merredin WA 6415  
Telephone: (08) 9041 1611  
Facsimile: (08) 9041 2379  
Email: [admin@merredin.wa.gov.au](mailto:admin@merredin.wa.gov.au)

Receipt Type	Detail	Amount
Miscellaneous	DEVELOPMENT PLAN APPLICATION Proposed domestic storage shed at Lot 7, 17 Todd Street Merredin Account: 131006200	\$147.00

\* GST Exclusive Charge \$147.00

\* GST \$0.00

**Total \$147.00**

Tendered \$147.00

Change Given \$0.00

Cash	Cheque	Other
\$0.00	\$0.00	\$147.00

Round Amount \$0.00

To whom it may concern,

As attached are plans for a shed on lot 7, 17 Todd Street Merredin. We are not going to use the structure as a living area as it is used for storage of a horse truck, horse float and scissor lifts. This is why the height is above the 3.9m allowed from ground level to fit horse truck inside.

Kind Regards,

Alix Nelson

A handwritten signature in black ink, appearing to read 'Alix Nelson', with a small dot at the end.

ADJOINING PROPERTY OWNER COMMENT ON PROPOSED OVER HEIGHT SHED

ADJOINING PROPERTY DETAILS

Name: BRUCE COLLINS  
Lot No.: 8 Street No.: 19 Street Name: Todd Street  
Suburb: Merredin Postcode: 6415

LOCATION OF PROPOSED DEVELOPMENT

Name: \_\_\_\_\_  
Lot No.: 7 Street No.: #17 Street Name: Todd Street  
Suburb: Merredin Postcode: 6415

DETAILS OF VARIATION OF WHICH COUNCIL DESCRETION IS REQUIRED AND COMMENTS SOUGHT

Plan Attached

OWNER'S COMMENTS

Object/Do not object

Signed: [Signature] Date: 20/2/2022 Phone: \_\_\_\_\_  
Print Name: Bruce Collins BRUCE COLLINS  
Signed: [Signature] Date: 20/2/2022 Phone: 0408809967  
Print Name: ALIX NELSON

ADJOINING PROPERTY OWNER COMMENT ON PROPOSED OVER  
HEIGHT SHED

ADJOINING PROPERTY DETAILS

Name: BOB ALBERTON  
Lot No.: 401 Street No.: #15 Street Name: Dolton Way  
Suburb: Merredin Postcode: 6415

LOCATION OF PROPOSED DEVELOPMENT

Name: Alix NELSON  
Lot No.: 7 Street No.: #17 Street Name: Todd Street  
Suburb: Merredin Postcode: 6415

DETAILS OF  
VARIATION OF WHICH COUNCIL DESCRETION IS REQUIRED AND COMMENTS SOUGHT

Plan Attached

OWNER'S COMMENTS

Object/Do not object

Signed: [Signature] Date: 20/2/2022 Phone: 0418823183  
Print Name: BOB ALBERTON  
Signed: [Signature] Date: 20/2/2022 Phone: 0408800967  
Print Name: Alix NELSON

**Proposed Building**

**For**

**Alix Nelson**

**Lot 7 Todd Street**

**Merredin WA 6415**

**Lot No: Lot 7**

**RP No:**

**Steel Sheds Online**

**Job#: TOTSHE\*2976**

**Date: 7/09/2021 Gable Roof Shed 12 x 9 x 3.5mt**



Site Map  
For  
Alix Nelson  
Lot 7 Todd Street  
Merredin WA 6415  
Steel Sheds Online





# Form 15—Compliance certificate for building design or specification

Version 4 – July 2017

**NOTE:** This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

**RESTRICTION:** A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

### 1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

**Street address** (include no., street, suburb/locality and postcode)

Lot 7 Todd Street  
Merredin WA Postcode 6415

**Lot and plan details** (attach list if necessary)

**In which local government area is the land situated?**

### 2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

**SERIES 'RD' REGION B RATING N2**

COLD FORMED STEEL GABLE SHED CLASS 6, 7b, 8, 9b & 10a

INCLUDING ROOF PURLINS AND WALL GIRTS

FOOTINGS/SLAB FOR CLASS 'M' & 'H' SITES

(Refer Note Below)

The Soil Classification should be confirmed locally for specific sites

### 3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AUSTRALIAN STANDARDS: AS/NZ 1170 – Parts 1 & 2 (2016) Australian Loading Code, AS.3600 – Concrete Structures Code, AS.4600 – Cold Formed Steel Structures Code, AS.4671 – Steel Reinforcing Materials (All Latest Editions) BCA2019

**BUILDING CODE OF AUSTRALIA REGION - B**

BCA Importance Level 2

Annual Probability of exceedance 1:500

Factor for Region C  $F_c = 1.05$

Regional Wind Speed  $V_r = 69\text{m/s}$

Wind directional multiplier for the 8 cardinal directions  $M_d = 0.57$

Terrain/Height multiplier  $M_z\text{CAT} = 0.95$  Shielding Multiplier  $M_s = 1.0$

Topographic multiplier  $M_t = 1.0^*$

Internal Pressure Coefficient  $C_{ps}$ : +0.7 : - 0.65

L-H-L TESTING DATA FROM LYSAGHT CYCLONIC AREA DESIGN MANUAL IN ACCORDANCE WITH BCA 3.10.1 (F)


\*The relevance of these figures to the actual site should be confirmed by a competent Local Person

DRAWING No. GAF-11 Sheets 1 – 6 by Frame Consulting Pty Ltd

<b>4. Reference documentation</b> Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Job No. GAF-11 including any reports, drawings and associated annexures prepared by
	Frame Consulting Pty Ltd
	'RD' SERIES GABLE SHED DATA TABLES FOR RELEVANT WIND CLASSIFICATION

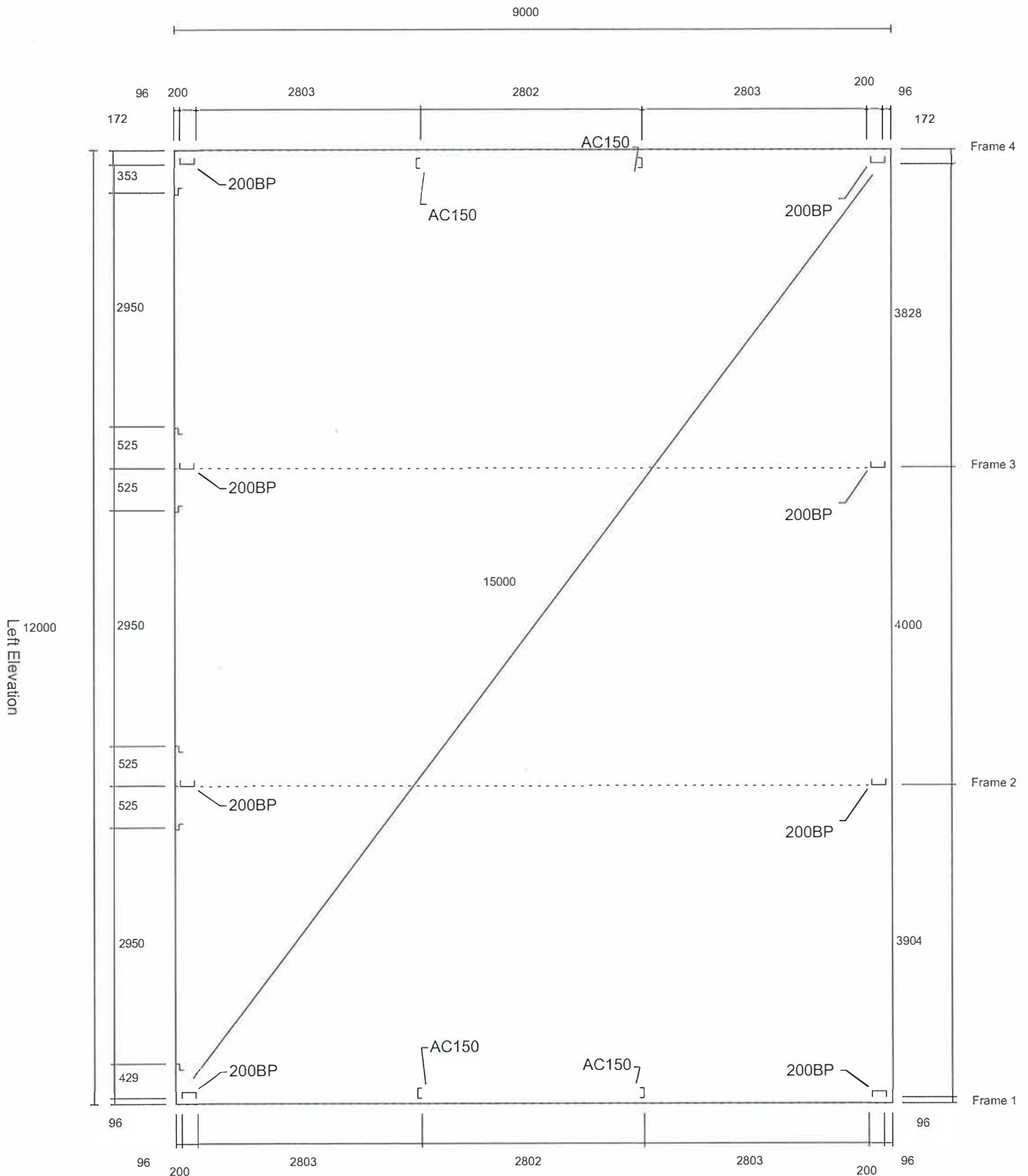
<b>5. Building certifier reference number</b>	<b>Building certifier reference number</b> <input type="text"/>
---	--

<b>6. Competent person details</b> A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.  If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.  If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	<b>Name (in full)</b> <input type="text" value="George Andrew Frame"/>	
	<b>Company name (if applicable)</b> <input type="text" value="Frame Consulting Pty Ltd"/>	<b>Contact person</b> <input type="text" value="George Frame"/>
	<b>Phone no. (business hours)</b> <input type="text" value="(07)5563 9103"/>	<b>Mobile no.</b> <input type="text" value="0404 080 001"/>
	<b>Fax no.</b> <input type="text"/>	
	<b>Email address</b> <input type="text" value="gafnf@bigpond.net.au"/>	
	<b>Postal address</b> <input type="text" value="P O Box 179"/>	
	<input type="text" value="Runaway Bay"/> <span style="float: right;"><b>Postcode 4216</b></span>	
<b>Licence or registration number (if applicable)</b> <input type="text" value="R.P.E.Q. 1390"/>		

<b>7. Signature of competent person</b> This certificate must be signed by the individual assessed by the building certifier as competent.	<b>Signature</b> 	<b>Date</b> <input type="text" value="1&lt;sup&gt;st&lt;/sup&gt; June 2020"/>
---	--	--

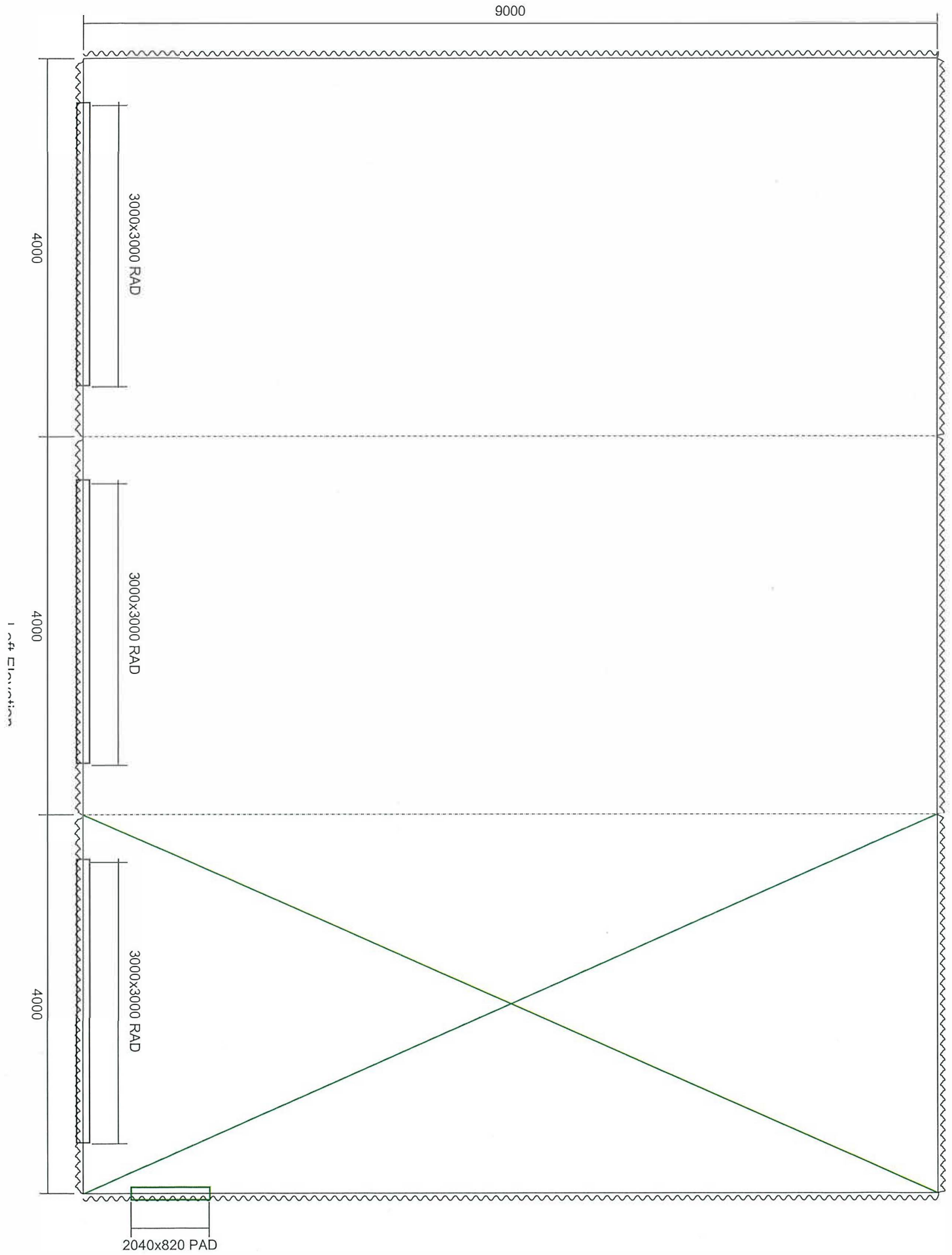
The *Building Act 1975* is administered by the Department of Housing and Public Works.

Rear Elevation



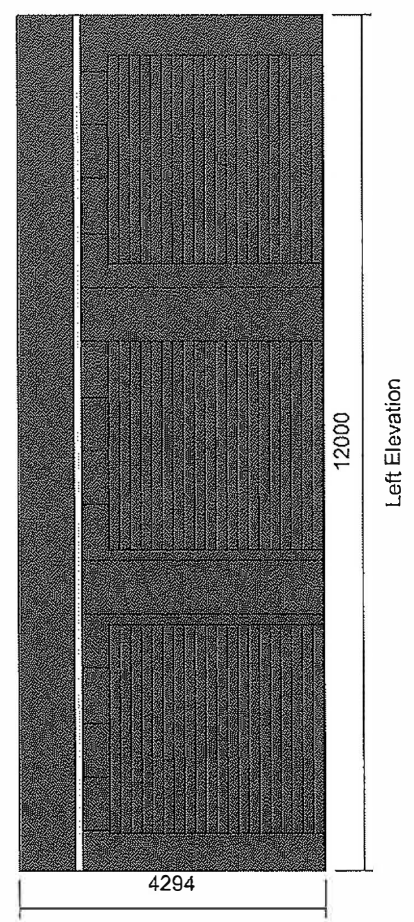
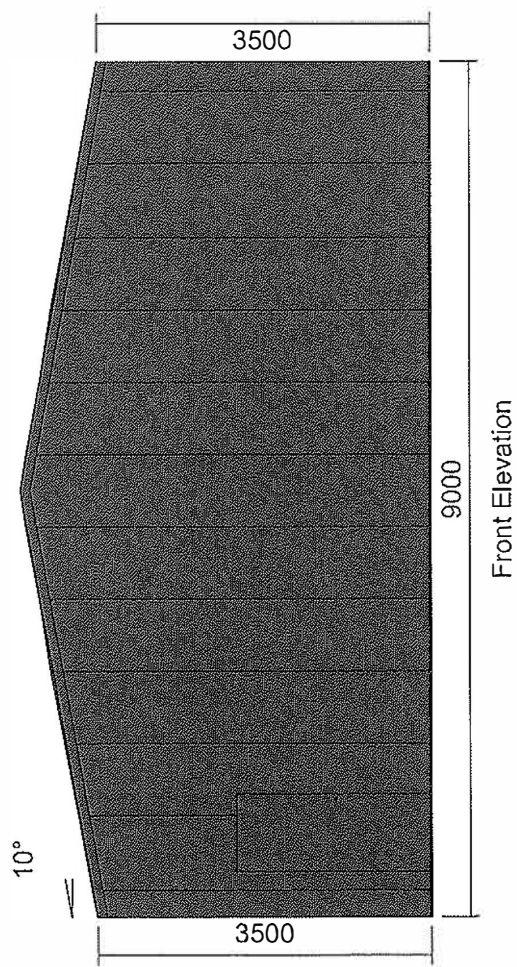
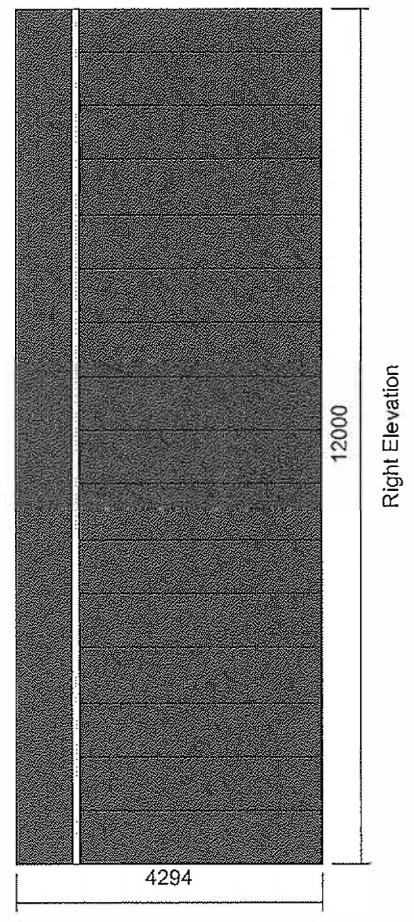
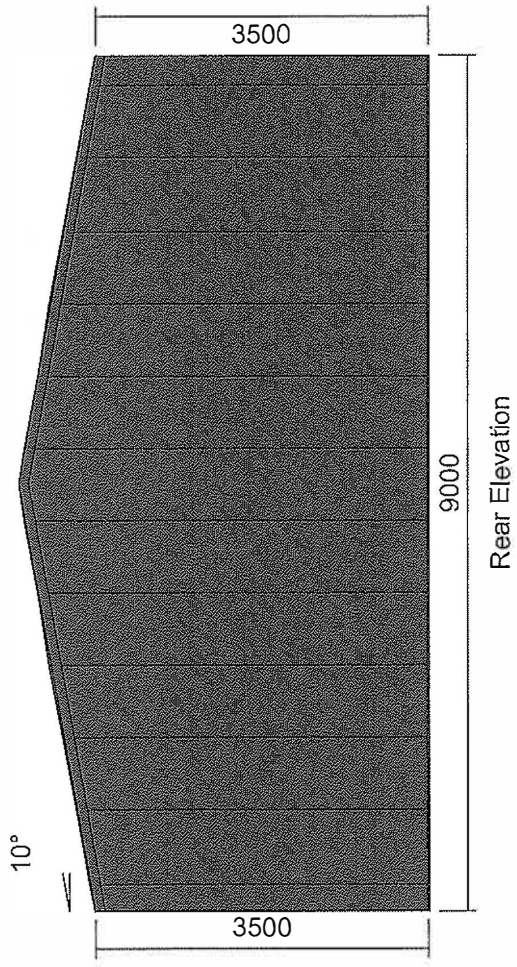
<b>BasePlate Layout</b>	Total Sheds	Client: Alix Nelson
	Job #: TOTSHE*2976	Address: Lot 7 Todd Street Merredin WA 6415

Rear Elevation

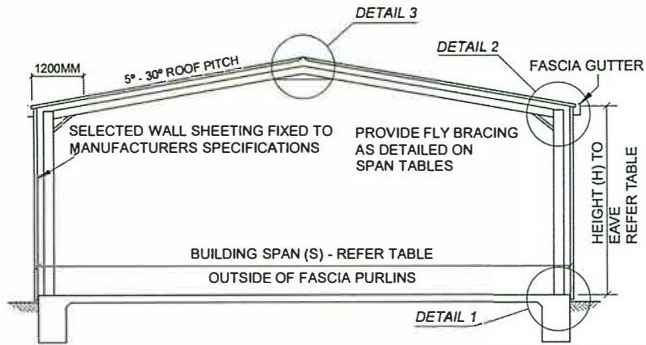


Total Sheds	Building Plan	Client: Alix Nelson
	Job #: TOTSHE*2976	Site Address: Lot 7 Todd Street Merredin WA 6415

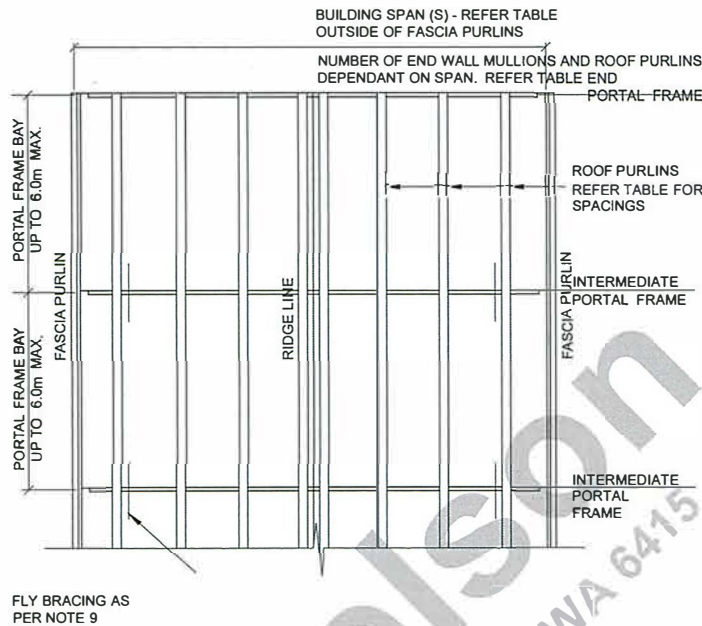




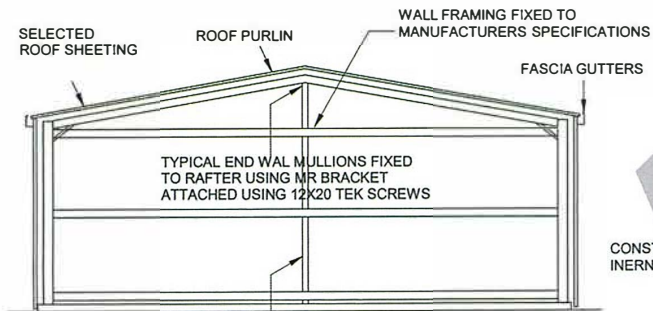
<b>Total Sheds</b>	Elevations	Client: Alix Nelson	Building Type: Shed
	Job#: TOTSHE*2976	Site Address: Lot 7 Todd Street, Merredin WA, 6415	



**TYPICAL INTERMEDIATE  
PORTAL FRAME SECTION**

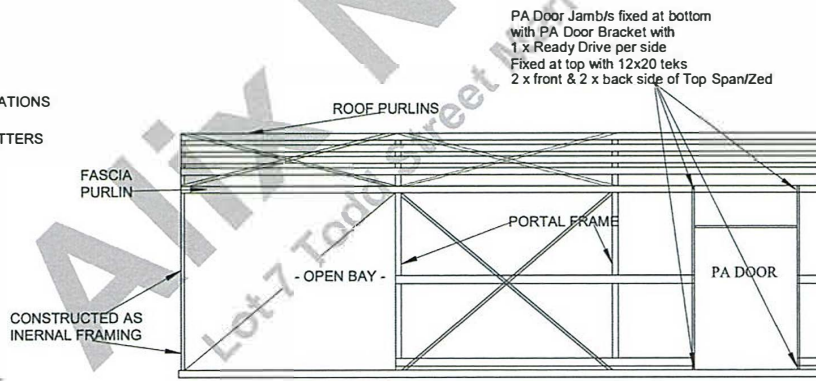


**TYPICAL PART PLAN VIEW**



**TYPICAL FRONT / REAR WALL ELEVATION**

WALL SHEETING NOT SHOWN TO DISPLAY FRAMING MEMBERS



**TYPICAL SIDE WALL ELEVATION**

WALL SHEETING NOT SHOWN TO DISPLAY FRAMING MEMBERS

**1. GENERAL:**

THESE NOTES AND STRUCTURAL DETAILS ARE TO BE READ IN CONJUNCTION WITH THE ASSOCIATED SPECIFICATIONS FOR THIS PROJECT. ALL CONSTRUCTION CODES LISTED HERE ARE TO BE LATEST EDITIONS WITH AMENDMENTS. THIS DESIGN IS ONLY APPROVED FOR WHEN PROVIDED WITH STRUCTURAL LAYOUT SIGNED BY THE SAME APPROVED SIGNATURE AND WITH AN ADDRESS SPECIFIED. THIS SPECIFICATION IS JOB SPECIFIC AND IS NOT AUTHORISED OR TO BE USED AT ANY TIME FOR ANY BUILDING OTHER THAN THE BUILDING SPECIFIED ON THE SIGNED PLANS. IF THE BUILDING IS MOVED THEN A NEW CERTIFICATION IS TO BE ISSUED FOR THE NEW LOCATION.

**2. STRUCTURAL STEELWORK:**

DEAD, LIVE AND WIND LOADS IN ACCORDANCE WITH AS 1170 PARTS 1 & 2-2018, AND AS, 4055-2012. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH "THE BUILDING CODE OF AUSTRALIA". ALL FABRICATION TO BE IN ACCORDANCE WITH AS 4600-2018 "COLD FORMED STEEL STRUCTURE CODE". ALL MATERIALS TO CONFORM WITH AS 2011-1997, "STEEL SHEDS AND STRIP". ALL FIXINGS, TEK, MASONRY ANCHORS ECT SHALL BE INSTALLED TO THE MANUFACTURE'S REQUIREMENTS. CLADDING AND CLADDING FIXING TO BE MANUFACTURE'S SPECIFICATION.

**3. FOOTINGS/SLAB:**

FOOTINGS AND/OR SLAB HAVE BEEN DESIGNED FOR A CLASS 'M' AND 'H' SITE WITH A MINIMUM BEARING CAPACITY OF 100KPA. THE SHED IS NOT DESIGNED AS A LIVE-IN RESIDENCE AND THE ENGINEER SHOULD BE CONTACTED IF REQUIRED. IF SITE CONDITIONS VARY FROM THOSE SPECIFIED, INCLUDING BUT NOT LIMITED TO: a) CLASSIFICATION b) SITE CUT/FILL c) WATER OR DRAINAGE PROBLEMS d) LANDSLIP OR STEEP/UNSTABLE SITE e) VARIING SOIL PROFILE ACROSS THE SITE f) PROPOSED USE OF SHED AS CLASS 1 BUILDING g) IMPOSED LOADS. ENGINEERING ADVICE SHOULD BE SOUGHT FOR THE FOOTING/SLAB DESIGN.

ALL SITE PREPERATIONS ARE TO COMPLY WITH AS.3798-2007 GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS. ENGINEER TO ADVISE.

**4. CONCRETE:**

(EXPOSURE CLASSIFICATION A1 & B1, 1-50 KM FROM COAST).

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS.3600-2018

CONCRETE SHALL HAVE THE FOLLOWING PROPERTIES:- FOOTINGS: F'c = 20 MPA @ 28 DAYS; NOM AGGREGATE; 80 SLUMP SLABS: F'c = 25 MPA @ 28 DAYS.

ALL CONCRETE SHALL BE CURED BY APPROVED METHOD FOR 7 DAYS AFTER POURING.

**5. REINFORCEMENT:**

ALL MESH TO CONFORM WITH AS 1304-1991. 'N' DENOTES HIGH YEILD DEFORMED BAR, GRADE 400. 'SL' DENOTES WELDED FABRIC, GRADE 500

**6. MINIMUM CLEAR CONCRETE COVER:**

FOOTINGS:- TO GROUND SURFACE: 75mm.  
SLABS:- FORMED AND SHELTERED LOCATION: 30mm.  
FORMED AND EXPOSED: 40mm.  
TO GROUND SURFACE: 65mm.

**7. MINIMUM REINFORCEMENT LAPS:**

'N12' BARS: 500mm LAP.  
'3-L8TM' & 4-L8TM' MESH: 425 END, 225 SIDE.

**8. BOLTING:**

ALL BOLTS TO BE M12 OR M16 ZINC PLATED AS NOTED.

**9. BRACING:**

USE 30 x 0.8 MIN. G.I. STRAP FIXED AT ENDS TO PORTALS WITH 3 TEK SCREWS AND TO EACH INTERSECT WITH INTERMEDIATE PURLINS OR GIRTS WITH Min. OF 1 TEK SCREW.  
FOR UP TO 4 BAYS:- PROVIDE MINIMUM OF 1 BAY FULLY BRACED.  
FOR 5 BAYS OR MORE:- PROVIDE A MINIMUM OF 2 BAYS FULLY BRACED WITH NO MORE THAN 3 CONSECUTIVE BAYS LEFT UNBRACED BETWEEN BRACED BAYS.  
ALL FLY BRACING TO BE 100 x 0.8 MIN. G.I. STRAP:-  
SPACING: COLUMNS EVERY THIRD GIRT, RAFTERS EVERY FOURTH PURLIN  
IF ROLLER DOORS IN ALL SIDEWALL BAYS, BRACING TO BE MOVED TO GABLE END WALL.

**10. BASE PLATES:**

BASE PLATES ARE TO BE 3mm THICK MINIMUM  
OPTIONAL: 5mm THICK. REFER DETAILS AS SHOWN.

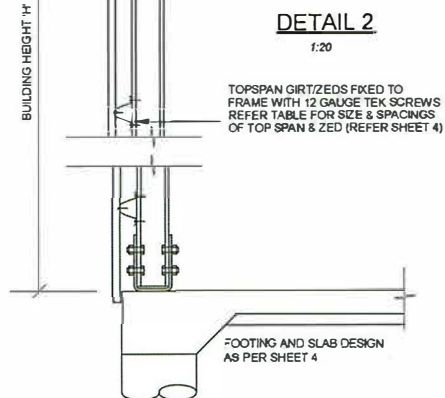
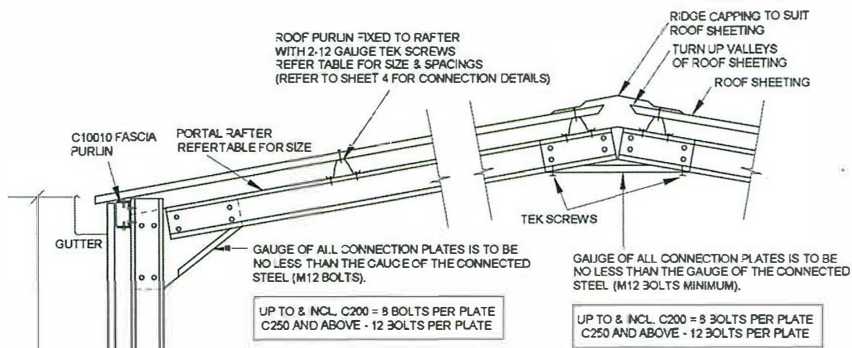
REVISIONS			

**FRAME CONSULTING** PTY LTD  
 Copyright reserved. This document is and shall remain the property of FRAME CONSULTING.  
 Unauthorised use of this document in any form whatsoever is prohibited.  
 Project Development Consultant  
 Civil & Structural Engineer  
 PO Box 179, RUNAWAY BAY, QLD 4216  
 Phone: (07) 55 639 103  
 Email: gafnf@bigpond.net.au  
 Approved  
 G. A. Frame R.P.E.Q. 1390

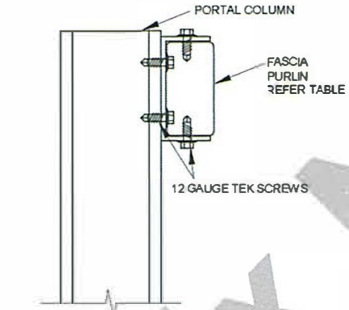
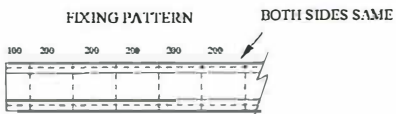
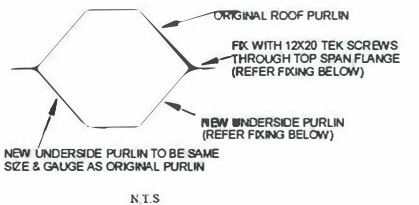
**STEEL SHEDS ONLINE**

PROPOSED SHED LOT			
Designed: GAF	Scale: N.T.S.		SHEDS
Drawn: RH	Date: 05/02/2020	Dr: <b>GAF-11-1</b>	Sheet 1

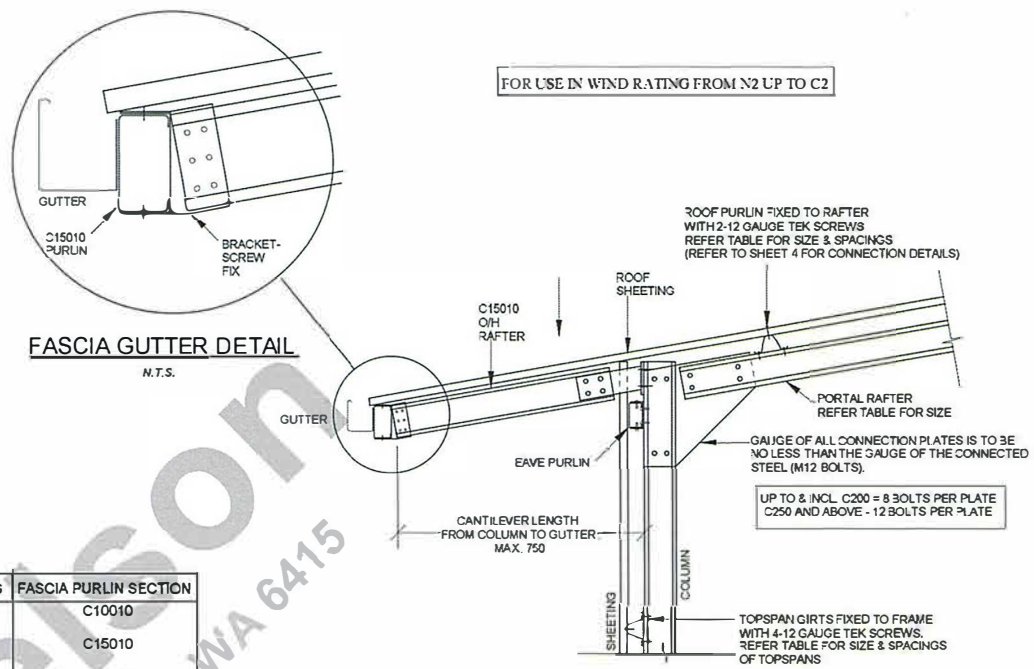




**STRENGTHING MEASURES ADDING SOLAR PANEL ON STEEL FRAMED SHED ROOFS (MAX 16KG SQ METRE)**

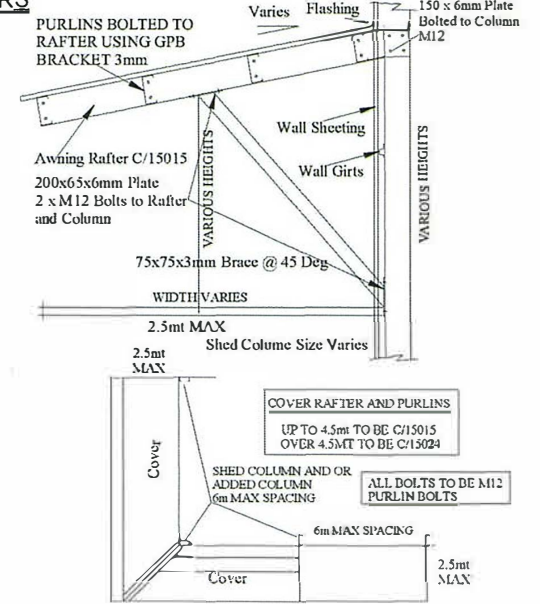
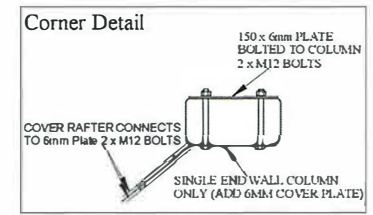
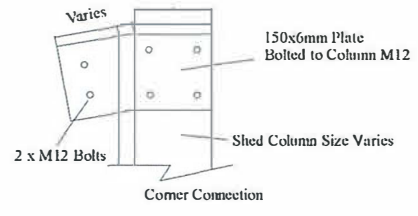


BAY SPACING	FASCIA PURLIN SECTION
up to 3.5	C10010
up to 4.0	C15010
up to 4.5	C20015
up to 6.0	C25024



**WINDOW/DOOR COVERS**

IF COVER DOES NOT LINE UP WITH EXISTING SHED COLUMN ADD ONE, WHICH SHALL BE NO LESSER THAN THE EXISTING MAIN SHED COLUMN SHALL FIX TO SLAB/FOOTING AND GIRTS SAME AS MAIN SHED COLUMN



REVISIONS

**FRAME CONSULTING** PTY LTD  
ABN 70 087 184 788  
ACN 087 184 788

Copyright reserved. This document is and shall remain the property of FRAME CONSULTING.  
Unauthorized use of this document in any form whatsoever is prohibited. The builder must verify all dimensions on site. Figured dimensions shall be taken in preference to those scaled.

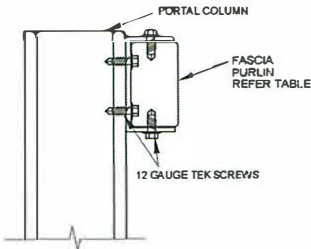
Project Development Consultant  
Civil & Structural Engineer  
PO Box 179, RUNAWAY BAY, QLD 4216  
Phone: (07) 55 639 103  
Email: gafn@bigpond.net.au

Approved:

G. A. Frame R.P.E.O. 1398



6.0 mt Return MAX			
PROPOSED SHED LOT	Shed Column and or added Column		
Designed: GAF	Scale: N.T.S.	SHEDS	
Drawn: RH	Date: 05/02/2020	Dwg: GAF-11-2	Sheet 2



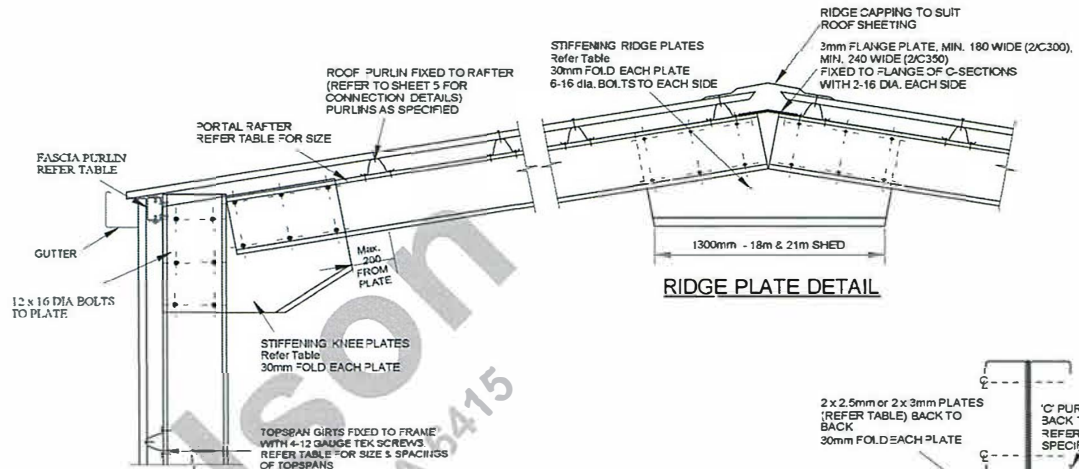
**FASCIA PURLIN CONNECTION DETAIL**  
(RAFTER & CONNECTION PLATE OMITTED FOR CLARITY)

BAY SPACING	FASCIA PURLIN SECTION
up to 3.6	C10010
up to 4.0	C15010
up to 4.5	C20015
up to 6.0	C25024

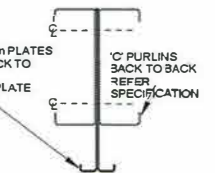
**KNEE & RIDGE PLATE TABLE**  
15m - 24m SPANS

BAY SPACING (MAX)	MAX HEIGHT TO EAVES	REQUIRED PLATE(S)
<b>13m SPAN</b>		
3m	4.5 m	1 x 3mm
5m	6.0 m	1 x 3mm
6m	4.5 m	1 x 3mm
6m	6.0 m	2 x 2.5mm
<b>15m SPAN</b>		
3m	5.5 m	1 x 3.0mm + KNEE BRACE
5m	6.0 m	1 x 3.0mm + KNEE BRACE
6m *	5.5 m	2 x 2.5mm
6m *	6.0 m	2 x 3.0mm
<b>21m SPAN</b>		
3m	5.5 m	1 x 3.0mm + KNEE BRACE
5m	6.0 m	1 x 3.0mm + KNEE BRACE
6m *	5.5 m	2 x 3.0mm + KNEE BRACE
6m *	6.0 m	2 x 3.0mm + KNEE BRACE
<b>24m SPAN</b>		
3m	5.5 m	1 x 3.0mm + KN BRACE
5m	6.0 m	1 x 3.0mm + KN BRACE
6m *	5.5 m	2 x 3.0mm + KN BRACE
6m *	6.0 m	2 x 3.0mm + KN BRACE

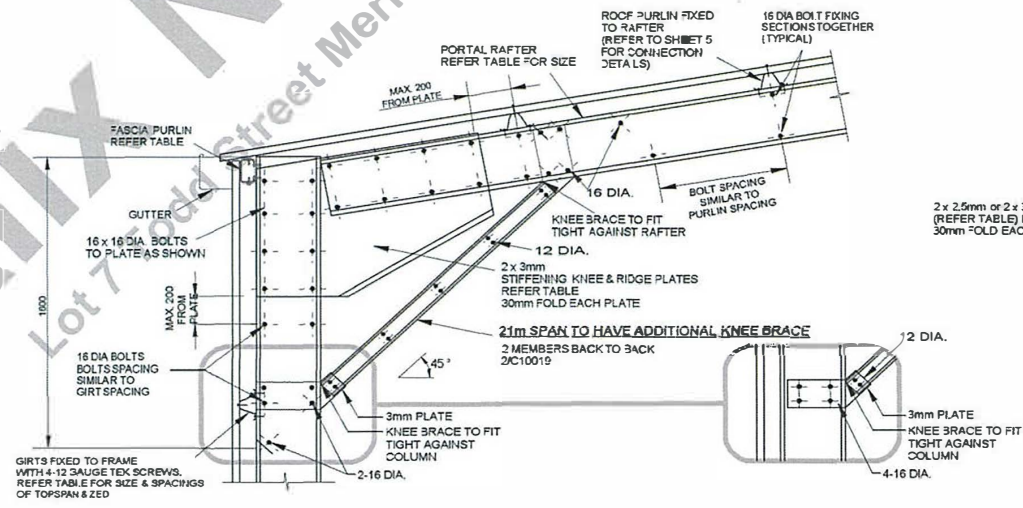
\* BACK TO BACK 'C' SECTIONS (Knee & Apex Brace +KN)



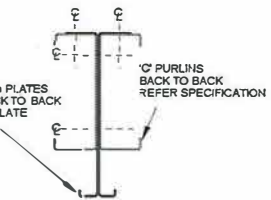
**OVER 12m & UP TO 15m SPAN KNEE PLATE CONNECTION DETAILS**



**RAFTER/KNEE STIFFENING PLATE TYPICAL SECTION**



**OVER 15m & UP TO 18m & 24m SPAN KNEE PLATE & BRACE CONNECTION DETAILS**



**RAFTER/RIDGE STIFFENING PLATE TYPICAL SECTION**

**KNEE BRACE CONNECTING PLATE ALTERNATIVE**

REVISIONS	DESCRIPTION

**FRAME CONSULTING PTY LTD** ABN 70 087 184 798  
ACN 108 087 184 798

Copyright reserved. This document is and shall remain the property of FRAME CONSULTING.  
Unauthorized use or disclosure in any form whatsoever is prohibited.  
The reader must verify all dimensions on site. Pictured dimensions shall be taken in accordance with the relevant standards.

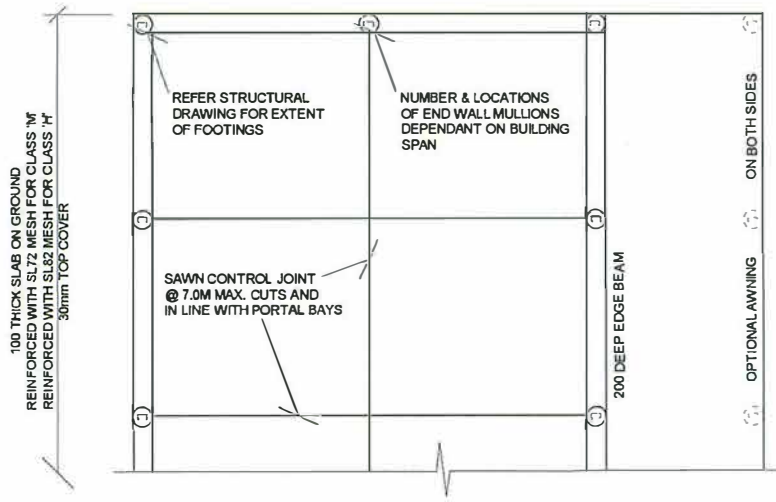
Project Development Consultant  
Civil & Structural Engineer  
PO Box 179, RUNAWAY BAY, QLD 4216  
Phone: (07) 55 639 103  
Email: gafn@bigpond.net.au

Approved:   
G. A. Frame P.E.Q. 1360



PROPOSED SHED LOT			
Designed: GAF	Scale: As Shown	Drawn: RH	SHEDS
Date: 05/02/2020	Dwg: <b>GAF-11-3</b>		Sheet 3





TYPICAL FOOTING & SLAB PLAN - CLASS 8 & 10 (STRUCTURAL SLAB)

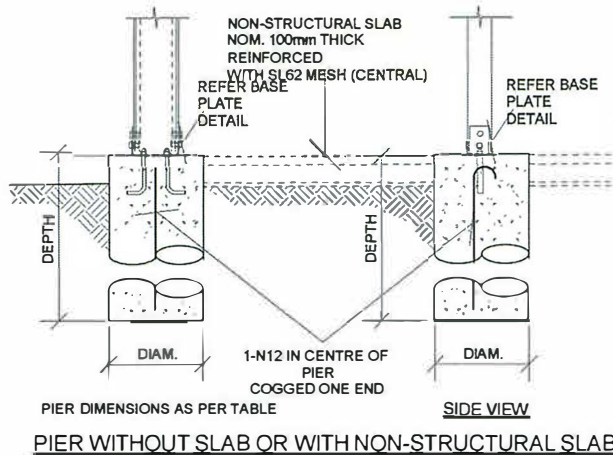
PIER FOOTING TABLE - SOIL CLASSIFICATION 'M'									
BAY SPACING	WIND Classification	STRUCTURAL SLAB & PIERS				NO SLAB (PIERS ONLY)			
		SLAB(S) AS DETAILED ALL PIERS 450 DIA.				ALL PIERS 450 DIA.			
		DEPTH OF PIER(S)				DEPTH OF PIER(S)			
		SPANS < 9m	SPANS 9m < 15m	SPANS 15m < 21m	SPANS 21m < 24M	SPANS < 9m	SPANS 9m < 15m	SPANS 15m < 21m	SPANS 21m < 24m
UP TO 4m	N2, N3 / C1	450	750	1200		600	900	1500	
4m TO 6m	N2, N3 / C1	600	1000	• 1500		900	1200	1800	
UP TO 4m	N4 / C2	600	1000	• 1500		900	1200	1800	
4m TO 6m	N4 / C2	750	1200	• 1800		1200	1500	2100 *	
UP TO 4m	N5 / C3	750	1200	• 1800		1200	1500	2100 *	
4m TO 6m	N5 / C3	900	1500	• 2100 *		1500	1800	2400 *	

FOR 'H' SITES ADD 300mm TO DEPTHS SHOWN ABOVE

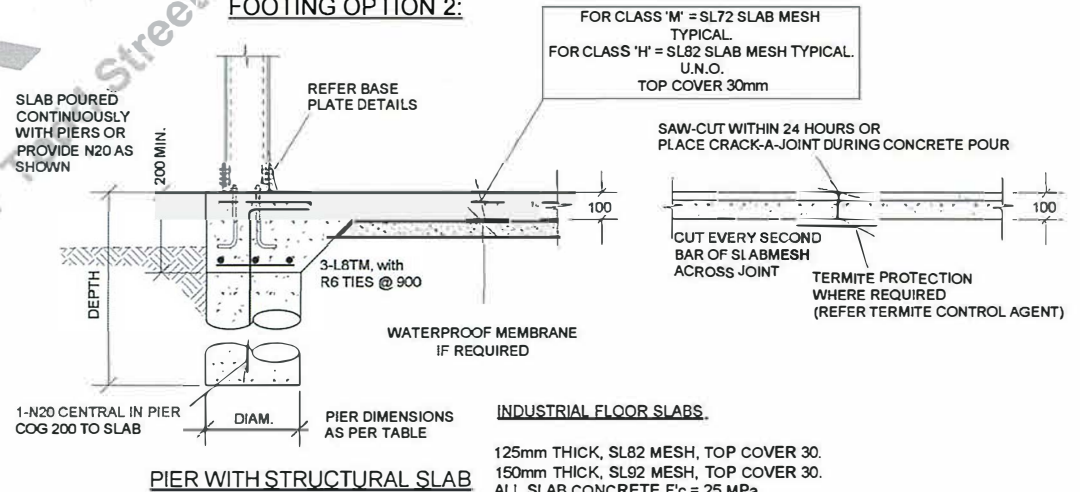
\* FOR ALL PIERS GREATER THAN 1800 DEPTH REINFORCE WITH 4 - N12 BARS IN 300 DIA. SPIRAL CAGE AT MAX. 250 PITCH

• PIERS MAY BE REPLACED WITH TWO PIERS OF HALF DEPTH SHOWN. NOM 1000 CENTRE TO CENTRE

FOOTING OPTION 1:



FOOTING OPTION 2:



REVISIONS		

**FRAME CONSULTING** PTY LTD  
 ABN 70 067 154 730  
 ACN 067 154 736

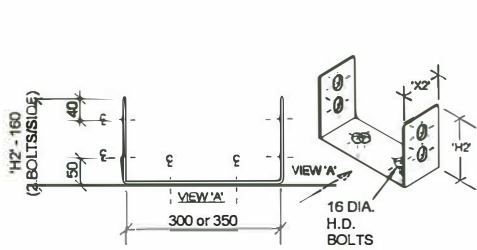
Copyright reserved. This document is and shall remain the property of FRAME CONSULTING.  
 Unauthorised use of this document in any form whatsoever is prohibited.  
 This notice must verify all dimensions on site. Figure dimensions shall be taken in preference to those scaled.

Project Development Consultant  
 Civil & Structural Engineer  
 PO Box 179, RUNAWAY BAY, QLD 4216  
 Phone: (07) 55 639 103  
 Email: gafn@bigpond.net.au

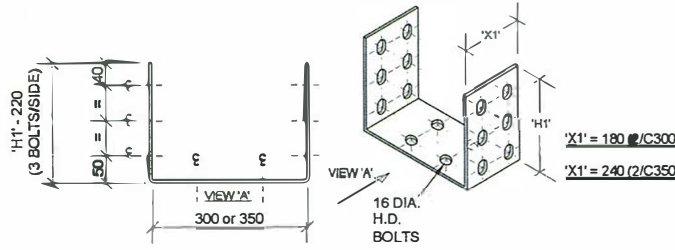
Approved  
  
 G. A. Fraze P.E.Q. 1330

**TEEL SHEDS ONLINE**

PROPOSED SHED LOT			
Designed: GAF	Scale: N.T.S.		SHEDS
Drawn: RH	Date: 05/02/2020	Org: <b>GAF-11-4</b>	Sheet 4

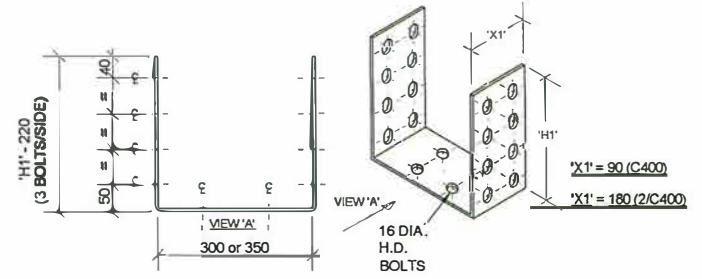


UP TO 12m SPAN = 2 BOLTS/SIDE  
 COVER 12m UP TO 15m SPAN = 2 BOLTS/SIDE



18m & 21m SPANS =  
 6 BOLTS/SIDE (BACK TO BACK SECTIONS)  
 3 BOLTS/SIDE (SINGLE SECTIONS)

**DETAIL 1 - 5mm (MIN.)  
 BASE PLATE DETAIL**



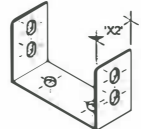
21m TO 24m SPANS =  
 8 BOLTS/SIDE (BACK TO BACK SECTIONS)  
 4 BOLTS/SIDE (SINGLE SECTIONS)

**DETAIL 1 - 5mm (MIN.)  
 BASE PLATE DETAIL**

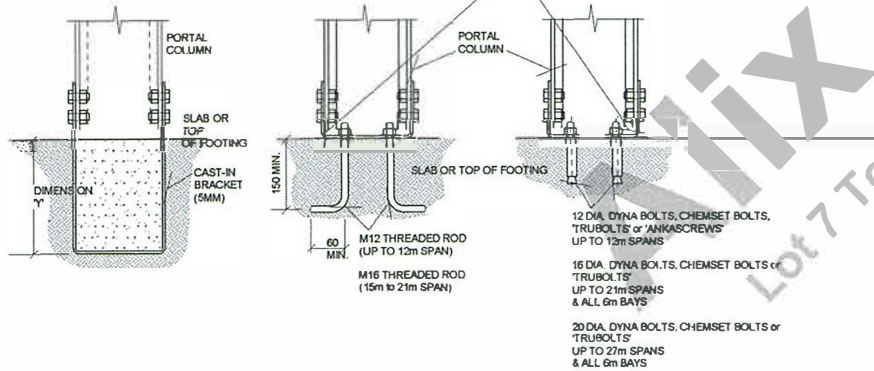
**CAST-IN BRACKET DEPTH ('Y') TABLE**

C100 COLUMNS	Y = 165mm
C150 COLUMNS	Y = 195mm
C200 COLUMNS	Y = 215mm
C250 COLUMNS	Y = 300mm
C300 COLUMNS	Y = 350mm
C350 COLUMNS	Y = 400mm
C400 COLUMNS	Y = 450mm

FOLDED 'U' SHAPED BASE PLATES:  
 BOLT TO CONCRETE WITH 'DYNABOLTS'  
 OR CAST-IN THREADED ROD AS REQUIRED  
 FOR SITE CLASSIFICATION  
 BASE PLATES ARE TO BE 3MM THICK  
 MINIMUM (OPTIONAL: 5MM THICK)



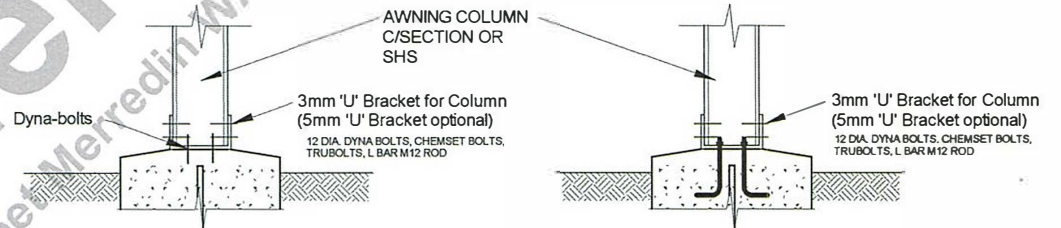
- X2' = 50 (C150)
- X2' = 65 (C200)
- X2' = 65 (C250)
- X2' = 85 (C300)
- X2' = 115 (C350)
- X2' = 90 (C400)



**CAST-IN PLATE  
 DETAIL**

**DETAIL 1  
 COLUMN TO BASE PLATE  
 FIXING OPTIONS DETAIL**

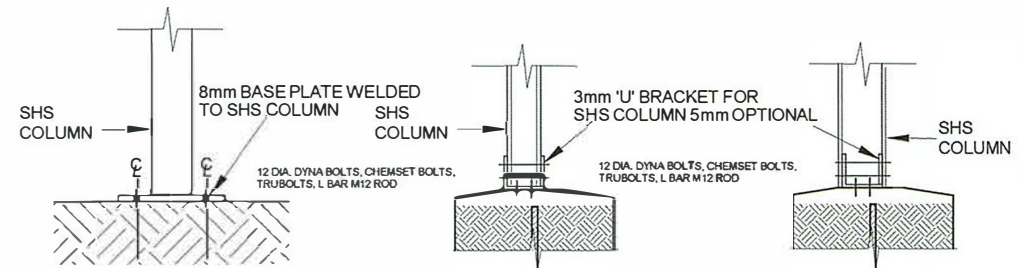
**AWNING SHS COLUMN BASE PLATE DETAIL**



**DYNABOLTS**

**HOOK BOLT OPTION**

**NOTE:**  
 Footing Dimension. Refer - Data Table



**WELDED BASE PLATE**

**U SHAPE**

**CONSEALED BRACKET**

**REVISIONS**

**FRAME CONSULTING** PTY LTD

ABN 70 087 164 796  
 ACN 067 104 790

Copyright reserved. This document is and shall remain the property of FRAME CONSULTING.  
 Unauthorised use of this document in any form whatsoever is prohibited.  
 The builder must verify all dimensions on site. Figured dimensions shall be taken in

Project Development Consultant  
 Civil & Structural Engineer  
 PO Box 179, RUNAWAY BAY, QLD 4216  
 Phone: (07) 55 639 103  
 Email: gafn@bigpond.net.au

Approved.

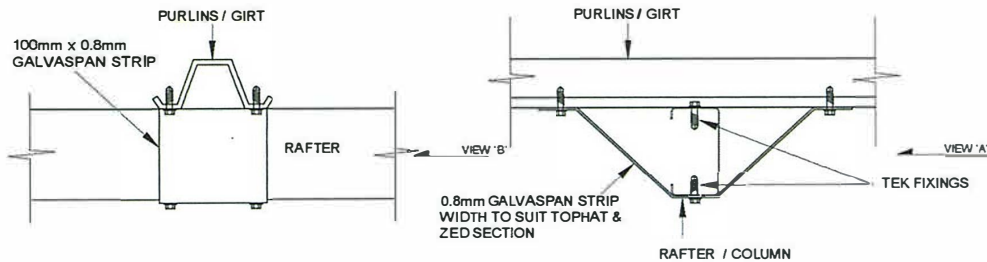
G. A. Frame R.P.E.Q. 1390



**PROPOSED  
 SHED  
 LOT**

Designed: GAF	Scale: N.T.S.	SHEDS
Drawn: RH	Date: 01/06/2020	Drg: <b>GAF-11-5</b>
		Sheet 5

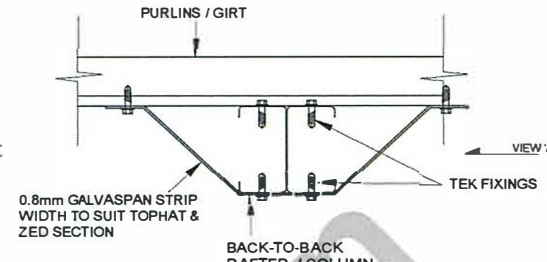




**FLYBRACE FIXING DETAILS**

VIEW 'A'

(‘C’ SECTION LIP OMITTED FOR CLARITY)



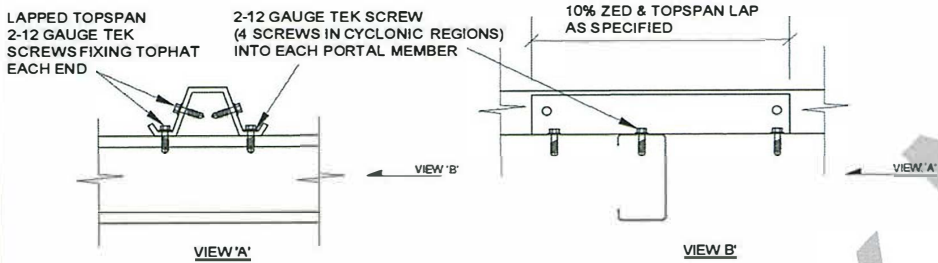
**FLYBRACE FIXING DETAILS**

VIEW 'B'

STEEL FRAMED SHEDS DETAILED ON THESE DRAWING ARE CAPABLE OF SUSTAINING SNOW LOADS AS SHOWN  
 HOWEVER, PURLIN SIZES REQUIRE UPGRADING AS SHOWN BELOW  
 TS6110 change to TS9610  
 TS9675 change to TS9612  
 TS9610 change to TS12090  
 TS12010 change to Z15012  
 PURLIN SPACINGS REMAIN UNALTERED

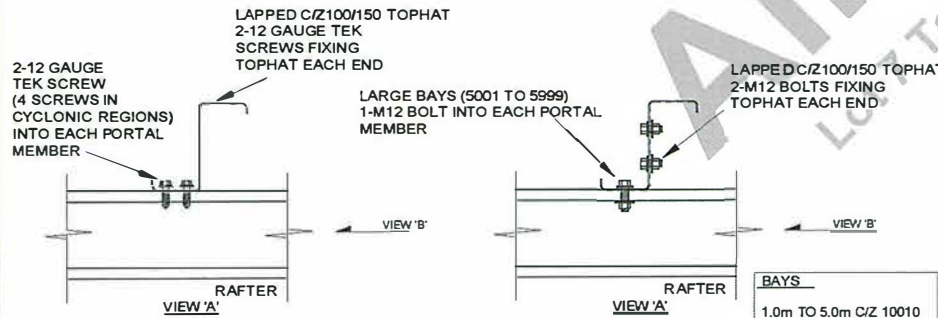
SNOW LOADING NOTE: (REFER AS. 1170.3)  
 THE SHEDS DESIGNED WITHIN THESE STANDARDS DRAWINGS ARE SUITABLE FOR THE FOLLOWING DESIGN SNOW LOADS.

LOAD CASE	ROOF PITCH			
	10 DEG	15 DEG	20 DEG	25 DEG +
N2	1.0 kPa	1.5 kPa	2.0 kPa	3.0 kPa
N3	1.3 kPa	1.8 kPa	2.4 kPa	3.5 kPa
C1 / N4	1.5 kPa	2.2 kPa	3.2 kPa	4.0 kPa
C2	1.8 kPa	2.6 kPa	4.0 kPa	5.0 kPa
C3				

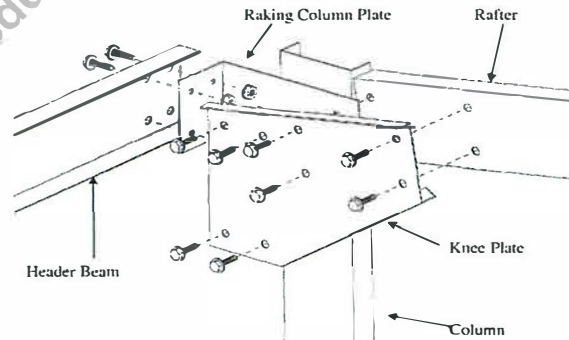


**INTERMEDIATE PORTAL FRAME AND TOPSPAN FIXING DETAIL**

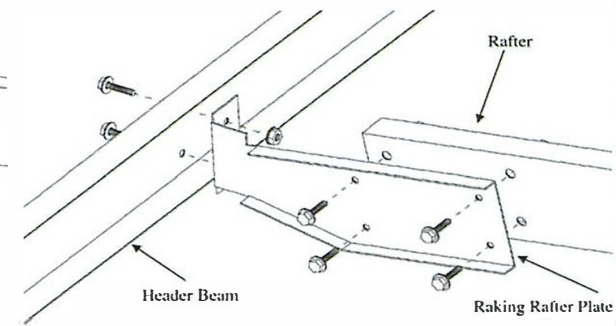
**SINGLE END WALL PORTAL FRAME AND TOPSPAN**



**INTERMEDIATE PORTAL FRAME AND C/Z TOPHAT FIXING DETAIL**



**HEADER BEAM DETAIL 1**



**HEADER BEAM DETAIL 2**

BAYS
1.0m TO 5.0m C/Z 10010
5.001m TO 6.0m C/Z 15010

REVISIONS

Copyright reserved. This document is and shall remain the property of FRAME CONSULTING.  
 Any unauthorised use of this document in any form whatsoever is prohibited. This clause shall carry as if written on any page. Figured dimensions shall be taken in preference to those scaled.  
 Project Development Consultant  
 Civil & Structural Engineer  
 PO Box 179, RUNAWAY BAY, QLD 4216  
 Phone: (07) 55 639 103  
 Email: gafn@bigpond.net.au  
 Approved: [Signature]  
 3. A. Price R.F.E.O. 1390



PROPOSED SHED LOT			
Designed: GAF	Scale: N.T.S.	SHEDS	
Drawn: RH	Date: 05/02/2020	Org: GAF-11-6	Sheet 6

Span "S" (outside width of frames)		Up to 4mt Bays			R.D SERIES UP TO 9M			
HEIGHT "H"		up to 2.4m	up to 2.7m	up to 3.0m	up to 3.3m	up to 3.6m	up to 4.5m	up to 6.0m
N2	Column	C/20015	C/20015	C/20015	C/20019	C/20019	C/25019	C/25024
	Sheeted End Wall Column	C/15012	C/15015	C/15019	C/15019	C/20015	C/20015	C/20024
	Rafter	C/20015	C/20015	C/20015	C/20019	C/20019	C/25019	C/25024
	Sheeted End Wall Rafter	C/15012	C/15015	C/15019	C/15019	C/20015	C/20015	C/20024
	Wall Mullions	C/15012	C/15012	C/15012	C/15015	C/15015	C/15015	C/25019
	Number of Mullions	2	2	2	2	2	2	2
	Purlins	Up to 3.6mt bays TS6175 @ 1.5mt - Up to 4.0mt bays TS9675 @ 1.5mt						
	Girts	Up to 3.6mt bays TS6175 @ 1.5mt - Up to 4.0mt bays TS9675 @ 1.5mt						
N3 / C1	Header Beam	C/20024						
	Column	C/20015	C/20015	C/20019	C/25019	C/25019	C/25019	C/25024
	Sheeted End Wall Column	C/15019	C/15019	C/20015	C/20015	C/20015	C/20015	C/20024
	Rafter	C/20015	C/20015	C/20019	C/25019	C/25019	C/25019	C/25024
	Sheeted End Wall Rafter	C/15019	C/15019	C/20015	C/20015	C/20015	C/20015	C/20024
	Wall Mullions	C/15012	C/15012	C/15012	C/15015	C/15015	C/15015	C/25019
	Number of Mullions	2	2	2	2	2	2	2
	Purlins	Up to 3.6mt bays TS6175 @ .900mm - Up to 4.0mt bays TS9675 @ .900mm						
Girts	Up to 3.6mt bays TS6175 @ 1.3mt - Up to 4.0mt bays TS9675 @ 1.3mt							
N4 / C2	Header Beam	C/20024						
	Column	C/25019	C/25019	C/25019	C/25024	C/25024	C/30024	C/30024
	Sheeted End Wall Column	C/20015	C/20015	C/20019	C/20019	C/25019	C/25019	C/20024
	Rafter	C/25019	C/25019	C/25019	C/25024	C/25024	C/30024	C/30024
	Sheeted End Wall Rafter	C/20015	C/20015	C/20019	C/20019	C/25019	C/25019	C/20024
	Wall Mullions	C/15012	C/15012	C/15012	C/15015	C/15015	C/15015	C/25024
	Number of Mullions	2	2	2	2	2	2	2
	Purlins	Up to 3.6mt bays TS6110 @ .900mm - Up to 4.0mt bays TS9675 @ .900mm						
Girts	Up to 3.6mt bays TS6110 @ 1.2mt - Up to 4.0mt bays TS9675 @ 1.2mt							
N5 / C3	Header Beam	C/20024						
	Column	C/25019	C/25019	C/25024	C/30024	C/30024	C/30024	C/30030
	Sheeted End Wall Column	C/20015	C/20019	C/20019	C/25019	C/25019	C/25019	C/20024
	Rafter	C/25019	C/25019	C/25024	C/30024	C/30024	C/30024	C/30030
	Sheeted End Wall Rafter	C/20015	C/20019	C/20019	C/25019	C/25019	C/25019	C/20024
	Wall Mullions	C/15012	C/15012	C/15012	C/15015	C/15015	C/15015	C/25024
	Number of Mullions	2	2	2	2	2	2	2
	Purlins	Up to 3.6mt bays TS6110 @ .700mm - Up to 4.0mt bays TS9675 @ .700mm						
Girts	Up to 3.6mt bays TS6110 @ 1.05mt - Up to 4.0mt bays TS9675 @ 1.05mt							
N5 / C3	Header Beam	C/20024						

1 All bolts to be M12 tension bearing

2 Roof and Wall bracing: min 30mm x 0.8mm GI Strap. Refer to drawing notes

3 Fly bracing to be every third girt on column/mullions and every fourth purlin on rafter

4 The gauge of all base and connection plates is to be no lessor that the gauge of the connected steel

Job Number: GAF-11

Read with Drawing Numbers GAF-11-1, 2, 3, 4, 5

Issue Date: 12/10/2020

<b>FRAME CONSULTING</b> PTY LTD			ABN 70 007 154 705 ACN 007 154 705
Copyright reserved. This document is and shall remain the property of FRAME CONSULTING.	Project Development Consultant Civil & Structural Engineer PO Box 179, RUNAWAY BAY, QLD 4216 Phone: (07) 55 639 103 Email: gafnf@bigpond.net.au	Approved:  G. A. Frame R.P.E.Q. 1390	
Unauthorised use of this document in any form whatsoever is prohibited. The builder must verify all dimensions on site. Figured dimensions shall be taken in preference to those scaled.			



8 Lanier Close, Oxenford, Qld 4210  
P: 0400 553 636 F: (07) 5604 1699



## Application for building permit – uncertified

Building Act 2011, section 14, 16  
Building Regulations 2012, regulation 4, 16

PERMIT AUTHORITY  
USE ONLY

Reference number

Permit authority

### 1. Property this application relates to

Property street address (provide lot number where street number is not known)

Unit no	Street no. <b>17</b>	Level	Lot no. <b>7</b>
Street name <b>TODD ST</b>		Street type <b>STREET</b>	Street suffix
Suburb <b>MERREDIN</b>		State <b>W.A</b>	Postcode <b>6415</b>
Volume		Folio	

Certificate of title (if known)

Local government area (if different from permit authority)

Is this lot vacant?

Yes

No

### 2. Details of building work

Project name (if any)

**SHED**

Description of the building(s) and building work

Main use of building(s)

Building Code of Australia (BCA) class of the building(s)

Main BCA class

- Class 1a single dwelling (including detached house, row house, terrace house, town house or villa unit)
- Class 10a (garage, carport, shed or the like)
- Class 10b (fence, mast, antenna, retaining or free standing wall, swimming pool or the like)
- Class 10c (private bushfire shelter)

Secondary BCA class (for multi-purpose buildings)

Third BCA class (for multi-purpose buildings)

Type of work

<input checked="" type="checkbox"/> New building/structure	<input type="checkbox"/> Alteration/addition	<input type="checkbox"/> Refurbishment/fit out
<input type="checkbox"/> Relocation of a building to this site	<input type="checkbox"/> Change of use/conversion	

Type of building or incidental structure (if a Class 10)

<input type="checkbox"/> Swimming pool/spa	<input type="checkbox"/> Garage	<input type="checkbox"/> Patio
<input type="checkbox"/> Carport	<input checked="" type="checkbox"/> Shed	<input type="checkbox"/> Fence/wall
<input type="checkbox"/> Retaining wall	<input type="checkbox"/> Water tank	<input type="checkbox"/> Other

Number of dwellings relocated TO this site from another site

Type of structure

<input checked="" type="checkbox"/> Detached (free standing)	<input type="checkbox"/> Attached to another structure
--	--

Number of residential dwellings to be created

Number of storeys of the highest building (above ground)

Number of basement storeys of the building (below ground)

Estimated value of building work (including GST)

Floor area to be created (m<sup>2</sup>)

Site (lot) area (m<sup>2</sup>)

What are the main materials used in the building work?

Floor	Exterior walls	Roof cover	Wall frame
<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Brick (double)	<input type="checkbox"/> Tiles	<input type="checkbox"/> Brick/block
<input type="checkbox"/> Timber	<input type="checkbox"/> Brick (veneer)	<input type="checkbox"/> Concrete	<input type="checkbox"/> Concrete
<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete/stone	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Timber
<input type="checkbox"/> Other	<input type="checkbox"/> Fibre cement	<input checked="" type="checkbox"/> Steel	<input checked="" type="checkbox"/> Steel
	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Curtain glass	<input type="checkbox"/> Other	<input type="checkbox"/> Other
	<input checked="" type="checkbox"/> Steel		
	<input type="checkbox"/> Aluminium		
	<input type="checkbox"/> Other		
If 'other' please specify			

Intended owner of the completed building

<input checked="" type="checkbox"/> Private sector
<input type="checkbox"/> Government sector

Is this application for a stage of a multi-stage building project?

<input type="checkbox"/> Yes
<input checked="" type="checkbox"/> No

Is a performance solution to a building standard proposed for the building work?

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------

### 3. Owner details

Where there are multiple owners, please attach a list with the names and signatures of each owner. If each of those owners requires a copy of the building permit, please also provide forwarding details for each owner.

Owner's name

ALIX & NELSON

Street address  
(provide lot number  
where street  
number is not  
known)

Unit no	Street no 15	Level	Lot no
Street name TODD		Street type STREET	Street suffix
Suburb MERRIDIN	State W.A	Postcode 6415	Country (if not Australia)

OR

PO Box address

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

Email address

ancorelectrics@gmail.com

Phone/fax

Phone no 0408800967 Fax

Owner's signature\*

Date 20.2.22

\*If you are authorised to sign on behalf of the owner, please provide your written legal authorisation with your application. Owner's signature is not required for Class 1 or Class 10 buildings or incidental structures.

### 4. Builder details

Builder's name

OWNER BUILDER

Street address  
(provide lot number  
where street number  
is not known)

Unit no	Street no	Level	Lot no
Street name		Street type	Street suffix
Suburb	State	Postcode	Country (if not Australia)

OR

PO Box address

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

Email address

Phone/fax

Phone no		Fax
----------	--	-----



Type of builder	<input type="checkbox"/> Registered building contractor (provide registration number below) <input type="checkbox"/> Approved owner-builder (attach owner-builder approval from the Building Services Board and provide owner-builder approval number below) <input type="checkbox"/> Public Authority <input type="checkbox"/> Other (building work under \$20,000, or where registered building contractor not required)	
Registration number or owner-builder approval number	Registration / approval number (if relevant)	
Builder's signature	Name (print)	
	Signature	Date

**5. Applicant details**

Who is the applicant? (Tick one box)

Owner                       Builder                       Other

If 'Other' was selected above, complete the following details:

Applicant's name

Alix Nelson

Street address (provide lot number where street number is not known)

Unit no	Street no 15	Level	Lot no
Street name TODD		Street type STREET	Street suffix
Suburb MERRIDIN	State W.A	Postcode 6415	Country (if not Australia)

OR

PO Box address

PO Box no			
Suburb	State	Postcode	Country (if not Australia)

Email address

alix.garner@outlook.com

Phone/fax	Phone no 6408800967	Fax
-----------	------------------------	-----



## 6. Statement by applicant

I understand that a building permit cannot be granted unless:

1. All the prescribed information is provided with this application.
2. All consents or court orders have been obtained if part of a building or incidental structure is proposed to be placed beyond the boundaries of the works land.

Does the proposed work encroach on other land?  Yes  No

If yes, has consent or a court order been obtained?  Yes  No

**Attach a copy of each consent (form BA20) or court order obtained.**

3. All consents or court orders have been obtained if the building work may adversely affect land beyond the boundaries of the works land.

Does the proposed work adversely affect other land?  Yes  No


If yes, has consent or a court order been obtained?  Yes  No

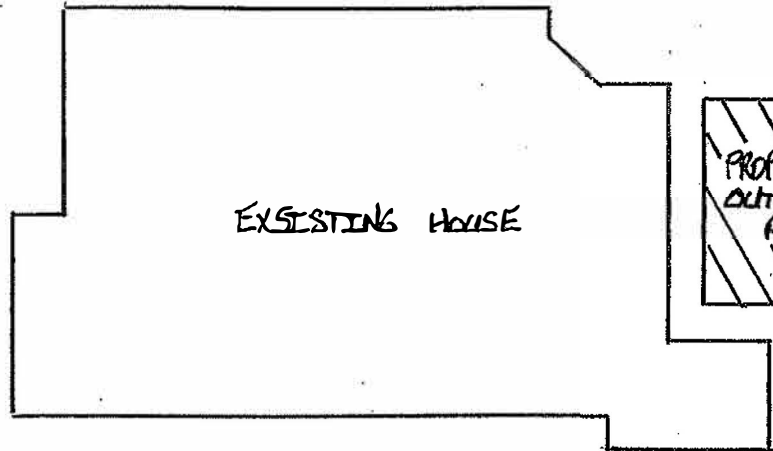
**Attach a copy of each consent (form BA20) or court order obtained.**

4. If the proposed building work is for a Class 1 or Class 10 building or incidental structure that includes performance solutions to building standards, details have been provided with this application.

**Provide details of each performance solution not shown on the plans and specifications.**

Applicant's  
signature

Name (print)	ALIX NELSON	
Signature		Date 20.2.2022



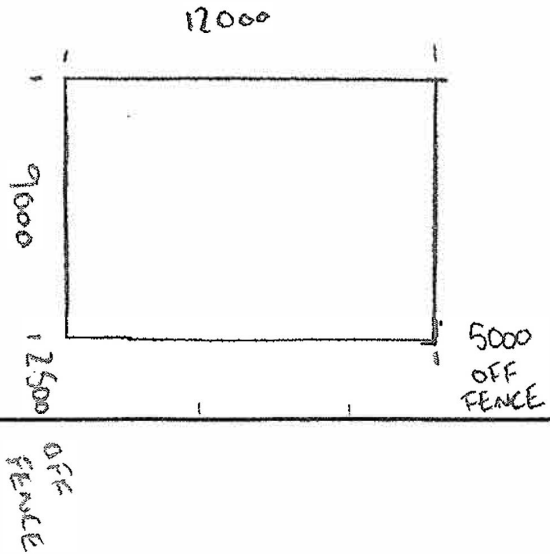
15 TODD ST  
9 LOT 6

140-24

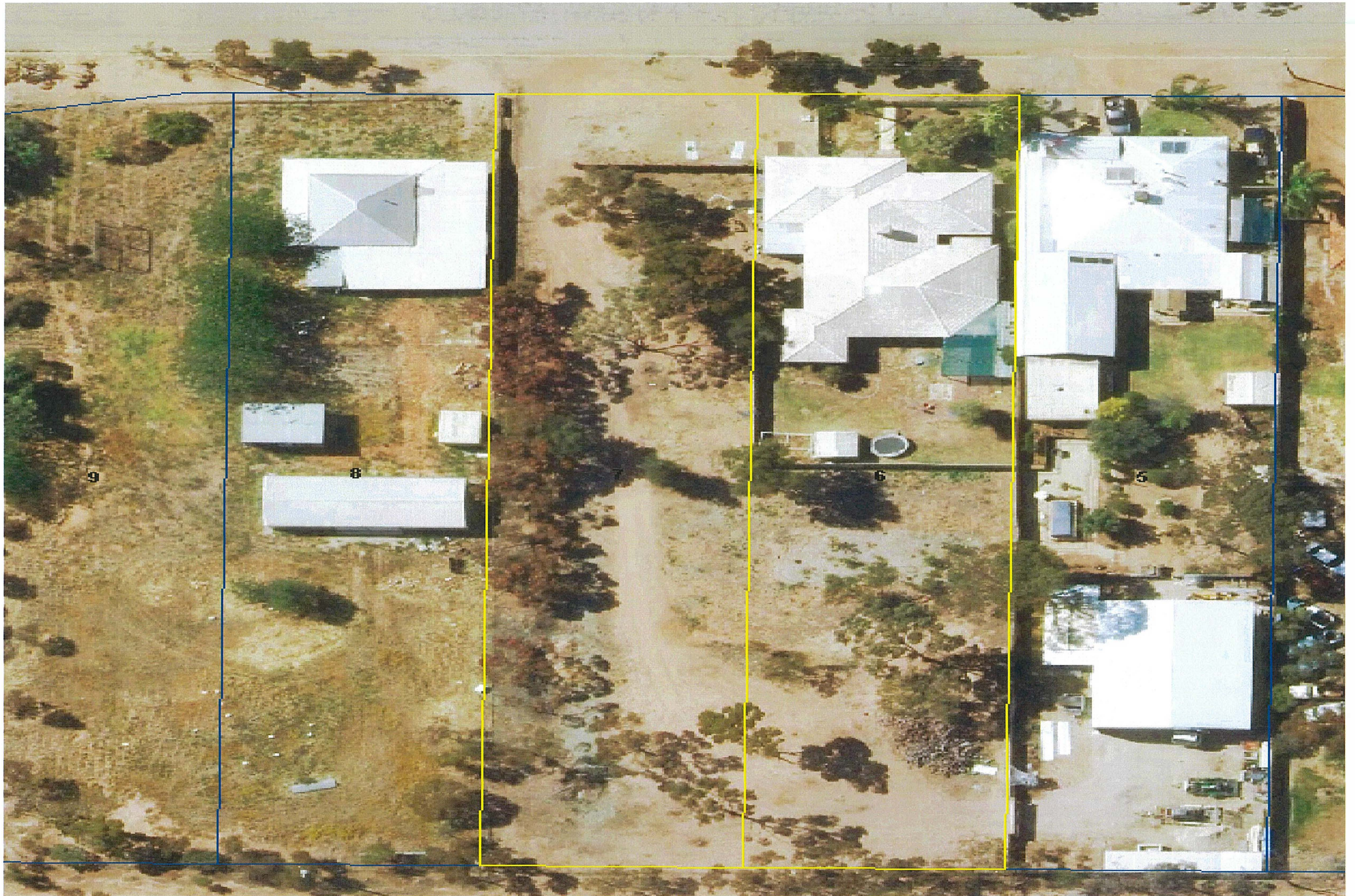
BLOCK PLAN  
SCALE 1:250

17 TODD STREET  
7 LOT 7

98.15









<b>POLICY NUMBER</b>	- <b>8.22</b>
<b>POLICY SUBJECT</b>	- <b>8.22 Outbuildings in Residential Areas</b>
ADOPTED	- 19 August 2003 (CMRef 27163)
AMENDED	- 17 July 2012 (CMRef 30919)
AMENDED	- 20 December 2016

**Objectives:**

To ensure a level of consistency with the size, the height and setbacks of outbuildings in residential areas, to minimise any adverse impact on the amenity to neighbouring property owners and to contribute towards the aesthetics of the streetscape.

**Definitions:**

• Residential Areas:

Any Residential, Special Residential and Rural Residential zones.

• Outbuilding:

Any Class 10a building under the current National Construction Code (BCA) which is not connected or abutted to a dwelling.

• Reflective Materials:

Not limited to, but includes the following:

- *Zincalume® or similar product;*
- *Any shiny metallic finish; and*
- *White coloured metallic materials.*

• Maximum single outbuilding m<sup>2</sup>:

The maximum floor area of any single outbuilding measured from the external edges of the wall cladding or in the case of an unenclosed building where the external edges of the wall cladding would be if the structure was enclosed.

• Aggregate total of all outbuildings m<sup>2</sup>:

The total floor area of all outbuildings located on the site and measured from the external edges of the wall cladding or in the case of an unenclosed building where the external edges of the wall cladding would be if the structure was enclosed.

**Policy:**

Outbuildings that satisfy the following development criteria may be approved by the Executive Manager of Development Services.

- a) Outbuildings which are enclosed are to be located behind the primary street setback in accordance with the Shire of Merredin Local Planning Scheme No 6 (as amended) and the State Planning Policy 3.1 – Residential Design Codes;
- b) All enclosed outbuildings to have a minimum setback of 1500mm from any secondary street, right of way or private street frontage;
- c) Supports to an open carport, may be placed up to a boundary, other than a primary street, secondary street, right of way or private street provided they are of non-combustible material and the roof-line of the carport is setback a minimum of 500mm from that boundary in accordance with the National Construction Codes (BCA).
- d) Outbuildings comply with the current National Construction Code (BCA).
- e) An application that indicates that reflective materials are to be used for wall and or roof cladding and in the opinion of the Executive Manager of Development Services, is likely to cause a nuisance to neighbouring property owners may be refused.
- f) If in the opinion of the Executive Manager of Development Services, an application that indicates the use of reflective materials for wall and or roof cladding is likely to cause a nuisance to neighbouring property owners,
  - May be refused; or
  - The applicant may wish to provide clear and fully detailed documentation to show how any reflective issues will be addressed so as not to cause a nuisance to neighbouring property owners; or
  - In the opinion of the Executive Manager of Development Services, any reflective issues that may arise and to cause a nuisance to neighbouring property owners is likely to be minimal, the property owner/s may enter into an

agreement with Council, at the Chief Executive Officers discretion and at the property owner's expense, that should there be a valid complaint, that the owner/s will immediately do such things to minimize the nuisance, by, but not limited to painting or screening with Council's prior approval.

g) Outbuildings are constructed of all new materials; or

h) Where pre used materials are proposed to be used,

- The applicant will be required to provide sufficient detail, specifications and photos to demonstrate to the Executive Manager of Development Services that the appearance of the proposed pre used materials will not detract from the streetscape; or
- The applicant may need to provide detail of how they intend to treat the used materials so that the finish will meet an acceptable standard; and
- The applicant may be required to provide Certification from a Practising Structural Engineer as to the structural adequacy of the design and or materials proposed to be used.

i) Out buildings are not for habitable or commercial purposes;

j) The construction of an outbuilding does not reduce the amount of open space required by the Residential Design Codes to less than the prescribed amount;

k) Outbuildings are of size in area, or the aggregate total of size in area of all the outbuildings on the lot and the wall and ridge heights comply with the values contained in Policy Table 8.22 Outbuildings in Residential Areas.

l) For minor variations the Executive Manager of Development Services may consider Code Variations in accordance with the Residential Design Codes of Western Australia (RDC) and view such applications on the proposed project's merits as detailed within the RDC.

**Policy Table 8.22 Outbuildings in Residential Areas**

<b>LOT AREA (m<sup>2</sup>)</b>	<b>MAXIMUM SINGLE OUTBUILDING (m<sup>2</sup>)</b>	<b>AGGREGATE TOTAL OF ALL OUTBUILDINGS (m<sup>2</sup>)</b>	<b>MAXIMUM WALL HEIGHT</b>	<b>MAXIMUM RIDGE HEIGHT</b>
500 – 749	46	62	2.4	3.6
750 – 999	73	97	3.0	3.6
1000 – 1249	94	125	3.0	3.6
1250 – 1699	117	156	3.0	3.9
1700 – 2049	130	202	3.0	3.9
2050 – 2999	143	262	3.3	4.2
3000 – 5000	157	375	3.6	4.5